

CITY OF FALCON HEIGHTS
Special Meeting of the City Council
City Hall
2077 West Larpenteur Avenue
AGENDA
Wednesday, May 3, 2023
6:30 p.m.

- A. CALL TO ORDER:
- B. ROLL CALL: GUSTAFSON___ LEEHY___ MEYER ___
WASSENBERG ___ WEHYEE___
STAFF PRESENT: LINEHAN___
- C. APPROVAL OF AGENDA
- D. PRESENTATION
- E. APPROVAL OF MINUTES:
- F. PUBLIC HEARINGS:
- G. CONSENT AGENDA:
- H. POLICY ITEMS:
 - 1. Planning Commission Findings of Fact - Amber Union PUD Amendment and City Code Amendment to Allow for Drive-Through Coffee Shop
- I. INFORMATION/ANNOUNCEMENTS:
- J. COMMUNITY FORUM:
Please limit comments to 3 minutes per person. Items brought before the Council will be referred for consideration. Council may ask questions for clarification, but no council action or discussion will be held on these items.
- K. ADJOURNMENT:

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ITEM FOR DISCUSSION

Meeting Date	May 3, 2023
Agenda Item	Policy H1
Attachment	See below.
Submitted By	Hannah Lynch, Community Development Coordinator

Item	Planning Commission Recommendation - Buhl Proposal - Caribou Coffee
Description	<p>On March 28, 2023, the Planning Commission held a public hearing to review a proposed development next to the current Amber Union Apartment site. The proposal is for a Caribou Coffee, drive-through and walk-up only, coffee shop.</p> <p>Currently the City Code does not allow drive-throughs for food establishments anywhere in the city. Should City Council choose to move forward with approval of this proposal, a number of amendments would need to be made to City Code.</p> <p><u>History of Amber Union & Current Status</u></p> <p>The Amber Union PUD encompasses the 3.78 acres of the parcel located on the southwest corner of the intersection of Snelling and Larpenteur Avenues. The additional two parcels, located just to the west, have served as 214 parking stalls, some reserved for additional Amber Union parking, with approximately 167 of those utilized as overflow parking.</p> <p><u>Proposed Use & Changes to Code</u></p> <p>In March 2023, an application was received for an amendment to City Code to rezone the additional two parcels to PUD, amend the Amber Union PUD to allow a drive-through eating establishment, and amend the definition of “drive-through facility” and supplemental regulations in City Code.</p> <p>Historically, drive-through facilities for eating establishments have not been permitted in Falcon Heights. Currently the definition for “drive-through facility” in City Code Sec. 113-3 <i>Definitions</i> states, “the use of land, buildings or structures, or parts thereof, to provide or dispense products or services, either wholly or in part, through an attendant or window or automated machine, to persons remaining in motorized vehicles that are in a designated stacking lane. A drive-through facility may be permitted only as an accessory use in combination with a bank of financial institution. A drive-through facility does not include a vehicle washing facility, a</p>

vacuum cleaning station accessory to a vehicle washing facility, or an automobile/gasoline service station."

This definition specifically prohibits drive-through facilities except as an accessory to banking or financial institutions. To allow this project to move forward, this definition would need to be amended, while keeping with the intent of protecting the City from drive-through facilities being permitted by right in any specific zoning district. The suggested amendment to this definition proposes allowing drive-through facilities for eating establishments only as part of a PUD, which would go through an extensive review and public hearing process.

In addition, the Amber Union PUD would be amended to allow drive-through eating establishments as a permitted use and updated with new drawings referenced.

Finally, there are supplemental regulations for drive-through facilities within City Code. Specifically, the section regarding operation time was requested by the applicant to be amended to state it may be operated starting at 6:00 a.m.

Public Hearing & Recommendation from the Planning Commission

A number of residents appeared at the public hearing to speak on the proposal. There were many concerns centered around safety for pedestrians, emissions from idling vehicles, and consistency with the Comprehensive Plan.

According to City Code, no amendment to the chapter may be adopted unless it is found to be consistent with the city's comprehensive plan. The term "drive-through" is not specifically stated anywhere in the 2040 Comprehensive Plan. Because of this, the general goals and policies of the plan should be assessed to determine if the addition of a drive-through facility for an eating establish is or is not consistent with the plan.

After review by the Planning Commission, it was voted 4-0 to recommend denial of the project to City Council. A number of reasons were behind this, all of which are stated in the attached Findings of Facts.

Budget Impact

None.

Attachment(s)

- Signed Findings of Fact and Recommendation from the Falcon Heights Planning Commission
- Draft Minutes from March 28, 2023 Planning Commission meeting
- Copy of Staff Presentation from March 28, 2023 Planning Commission meeting
- Copy of Buhl Presentation from March 28, 2023 Planning Commission meeting

	<ul style="list-style-type: none"> - RCA Packet from March 28, 2023 Planning Commission meeting, including: <ul style="list-style-type: none"> o Application for Amendment to Amber Union PUD o Narrative from Applicant o Proposed Plans from Applicant o Traffic Study from SRF o Stormwater Management Memorandum from Kimley-Horn o Posted Notice o Newspaper Notice o Newspaper Notice Affidavit o Notice to Property Owners o Notice to Residents o Comments from Fire Marshal, City Engineer o Section 113-35 from Falcon Heights City Code - Amendments to Zoning Code o An Ordinance Amending Chapter 113 of the Falcon Heights City Code Concerning Drive-Through Facilities and Amber Union PUD
Action(s) Requested	The Planning Commission recommends City Council deny the application for the Caribou Coffee, including all proposed amendments to City Code that would be required, and adopt the Findings of Fact as proposed.

CITY OF FALCON HEIGHTS
RAMSEY COUNTY, MINNESOTA

IN RE:

Application of Buhl Larpenteur West LLC,
5100 Eden Ave, Suite 317, Edina, MN 55436,
for an amendment to City Code and the
Amber Union PUD to allow drive-through
facilities for eating establishments.

**FINDINGS OF FACT
AND
RECOMMENDATION**

On March 28, 2023, the Falcon Heights Planning Commission met at its regularly scheduled meeting to consider the application of Buhl Larpenteur West LLC, 5100 Eden Ave, Suite 317, Edina, MN 55436 for an amendment to City Code and the Amber Union PUD to allow drive-through facilities for eating establishments, and extend the Amber Union PUD to cover two additional parcels. The Planning Commission conducted a public hearing on the proposed amendment preceded by published and mailed notice. The applicant was present, and the Planning Commission heard testimony from all interested persons wishing to speak and now makes the following:

FINDINGS OF FACT:

1. The subject property is three adjacent parcels, Ramsey County Tax Parcel IDs 212923110030, 212923110028, and 212923110029, located at the southwest corner of Larpenteur Avenue and Snelling Avenue in Falcon Heights, MN.
2. Tax Parcel ID 212923110030, 1667 Snelling Avenue, Falcon Heights, MN 55108, is currently zoned Planned Unit Development (PUD) and is otherwise known as the Amber Union PUD.

3. Tax Parcel IDs 212923110028, 1644 Larpenteur Avenue W, Falcon Heights, MN 55113, and 212923110029, 0 Larpenteur Avenue W, Falcon Heights, MN 55113, are currently zoned R5M, High Density Residential Mixed Use.

4. The subject properties are legally described as:

212923110030: The North Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter, in section 21, township 29, range 23, Ramsey County, Minnesota, except that part taken for Snelling and Larpenteur Avenues.

212923110028: The West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23, West of the Fourth Principal Meridian.

212923110029: The East 250 feet of the North 500 feet except the West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23.

5. The current Amber Union PUD is to provide for the mixed uses of multi-family apartments and a retail space. Permitted uses and zoning regulations are as follows: The R5-M mixed use high density residential district regulations shall apply to the property subject to the following modifications:

(1) Permitted uses: One principal structure consisting of 111,640 square feet and 89 apartment units and one principal structure consisting of 59,195 square feet, 39 apartment units, and one retail space.

(2) No conditional uses.

(3) No interim uses.

(4) Setbacks as depicted in the site plan dated September 23, 2019 prepared by
Kimley Horn and Mohagen Hansen.

6. On March 6, 2023, an application was received from Pete Deanovic, Buhl Larpenteur West LLC, 5100 Eden Avenue Suite 317, Edina, MN 55436 for a rezoning and plan review of a proposed coffee shop with drive-through located on Tax Parcel ID 212923110029. This would require a text amendment to City Code and extending the boundary of the Amber Union PUD to cover two additional parcels, 212923110029 and 212923110028.
7. The proposed PUD amendment is not in compliance with the City Code.
8. In City Code, drive-through facilities are “defined as the use of land, buildings or structures, or parts thereof, to provide or dispense products or services, either wholly or in part, through an attendant or window or automated machine, to persons remaining in motorized vehicles that are in a designated stacking lane. A drive-through facility may be permitted only as an accessory use in combination with a bank of financial institution. A drive-through facility does not include a vehicle washing facility, a vacuum cleaning station accessory to a vehicle washing facility, or an automobile/gasoline service station.”
9. As drive-through facilities for eating establishments are not permitted anywhere in the City of Falcon Heights, it was determined to accommodate this change, the definition of “drive-through facility,” the uses permitted in the Amber Union PUD, the boundaries of the Amber Union PUD, and the supplemental guidelines for “drive-through facilities” would need to be amended within City Code.
10. When an amendment to a PUD is requested after the PUD has been issued its Certificate of Occupancy, including but not limited to changes in land use, increases in development

density or intensity or changes in the provisions for common open spaces shall require a PUD amendment. The amendment process for planned unit developments is the same as that for all other amendments of the Zoning chapter in City Code.

11. The City of Falcon Heights Planning Commission met at its regularly scheduled meeting on March 28, 2023 to conduct a public hearing and issue a recommendation on the requested amendment and rezoning request. The Planning Commission voted 4-0 to recommend denial of the amendment and rezoning request.
12. An amendment to a planned unit development or any other amendment of the Zoning chapter of City Code must conform to the process outlined in Section 113-35. It was determined all requirements from Section 113-35(a-d) were met. The applicant for the proposed amendment was the property owner, Buhl Larpenteur West LLC, and the application was received on an official application form. Required notice of the public notice was sent to all property owners within 350' of the subject properties, and published in the newspaper in the required timeframe. A public hearing was held by the Planning Commission with a recommendation voted on to be sent to City Council. Requirement 113-35(f) will be conformed with upon action by City Council.
13. Section 113-35(e) requires the following:
 - (e) *Consistency with comprehensive plan.* No amendment to this chapter shall be adopted which is in conflict with the city's comprehensive plan.
14. Upon review by the Planning Commission of the information provided by the applicant, staff, and comments from citizens, the following has been found regarding consistency with the comprehensive plan:

(a) The Planning Commission has found the proposed amendments and rezoning to not be consistent with the Comprehensive Plan in the following sections with additional commentary –

General Land Use Goals (page 44) –

4. To encourage practices that conserve energy and lower the City's over-all carbon emissions, making Falcon Heights a healthier, more sustainable community.

5. To encourage sustainability and resiliency practices that reduce energy consumption and carbon emissions, mitigate the effects severe weather and a changing climate.

The Planning Commission finds allowing a drive-through facility for an eating establishment does not contribute to lowering the City's overall carbon emissions as it has been shown that idling vehicles increase carbon emissions.

3. To enhance access and safety for pedestrians and non-motorized transportation.

The Planning Commission finds a drive-through eating establishment would not enhance access and safety for pedestrians and non-motorized transportation as it encourages vehicle use. Despite the proposal including a walk-up window for pedestrians, there is still an issue of the safety for pedestrians traveling across the drive-through lane.

General Land Use Policies (page 45) –

1. Adopt and encourage “complete streets best practices” to promote public health and encourage an active lifestyle for residents. Require a health impact assessment for new development/redevelopment.

The Planning Commission finds no health impact assessment to have been completed.

Axis of Redevelopment – The Larpenteur Corridor (page 50) –

A comprehensive corridor study of both Snelling and Larpenteur, with ample opportunity for public participation, is recommended as part of the implementation of this plan, before any significant redevelopment is initiated along the Larpenteur Avenue corridor in Falcon Heights.

The Planning Commission finds a comprehensive corridor study has not yet been completed for the area of the proposed project. The Planning Commission also finds a comprehensive corridor study is needed before amending City Code to allow uses previously not allowed entirely.

Larpenteur Corridor Policies (page 51) –

6. Employ the health impact assessment and other tools to ensure that new development along Larpenteur Avenue is safe, attractive and walkable and enhances the quality of life for residents of the City.

The Planning Commission finds no health impact assessment to have been completed.

8. Make sure all development follows the City’s sustainability and resiliency goals (page 52).

The Planning Commission finds developing a drive-through facility to be a contradiction to the City's sustainability and resiliency goals, as the practice increases the carbon emissions within the City.

Commercial / Business Policies (page 63) –

2. Require health impact assessments and environmental impact assessments for new development or redevelopment.

The Planning Commission finds no health impact assessment to have been completed.

Environmental Protection Goals (page 143) –

2. To protect people and property from excessive noise, pollution and natural hazard.

The Planning Commission finds the development of a drive-through facility for an eating establishment to increase pollution due to the idling of vehicles.

3. To improve the health of residents and those who work within the city.

The Planning Commission finds the development of a drive-through facility for an eating establishment that increases pollution due to the idling of vehicles to decrease the health of residents and those who work within the city.

Environmental Protection Policies (page 143) –

8. Monitor air quality at Snelling/Larpenteur Avenues and maintain the intersection as necessary to assure that ambient pollution levels are not substantially increased.

The Planning Commission finds the increase of carbon emissions due to the development of a drive-through facility and additional idling vehicles will increase the ambient pollution levels of the intersection at Snelling and Larpenteur Avenues.

15. The Planning Commission finds the usage of a Planned Unit Development in the case of this proposal to be inconsistent with the goal of a PUD as outlined in City Code:

ARTICLE V - PLANNED UNIT DEVELOPMENT (PUD)

Sec. 113-199 - Purpose

The planned unit development district is intended to permit flexibility of site design, the conservation of land and open space through clustering of buildings and activities, and an incentive to developers to plan creatively by providing density bonuses. This flexibility can be achieved by allowing deviations from standards including setbacks, heights and similar regulations. PUDs are characterized by central management, integrated planning and architecture, joint or common use of parking, open space and other facilities, and a harmonious selection and efficient distribution of uses.

The Planning Commission finds the cumulative outcome of the proposed amendments and rezoning does not conserve land or open space and does not increase density with an efficient distribution of uses. While technically there will be mixed uses within the Amber Union PUD as a whole, the additional building to be constructed for the coffee shop will be a singular use which is not the intent of a Planned Unit Development.

RECOMMENDATION:

The Falcon Heights Planning Commission hereby recommends denial of the Applicant's request for an amendment to City Code and the Amber Union PUD and rezoning.

ADOPTED by the Falcon Heights Planning Commission on this 28th day of March, 2023.

**FALCON HEIGHTS PLANNING
COMMISSION**

By: Scott Wilson
Scott Wilson (Apr 18, 2023 13:35 CDT)

Scott Wilson, Planning Commission Chair

ATTEST:

Hannah B. Lynch

Hannah B. Lynch

Community Development Coordinator /

Staff Liaison

CITY OF FALCON HEIGHTS
Regular Meeting of the City Planning Commission
City Hall
2077 West Larpenteur Avenue
MINUTES
March 28, 2023 at 7:00 P.M.

A. **CALL TO ORDER:** 7:00 P.M.

B. **ROLL CALL:**

Scott Wilson <u> X </u>	Jim Mogen <u> X </u>
Laura Paynter <u> </u>	VACANT
Joel Gerich <u> X </u>	VACANT
Jake Anderson <u> X </u>	

Council Liaison Gustafson X
City Administrator Linehan X
Staff Liaison Lynch X

C. **APPROVAL OF AGENDA**

Mogen motion to approve agenda; approved 4-0

D. **APPROVAL OF MINUTES:**

Mogen motion to approve February 28th, 2023 minutes; approved 4-0

E. **PUBLIC HEARING**

City Code, Amber Union PUD Amendment

Staff Liaison Lynch introduced the history of the property and gave a background of the original Amber Union development after a re-zoning in June 2019 to a Planned Unit Development (PUD), followed by an amendment in October 2019 to increase the number of apartments. Amber Union ultimately received its Certificate of Occupancy and opened in late 2022.

The current PUD encompasses the 3.78 acre parcel on the corner of Larpenteur and Snelling Avenues. The two additional parcels to the west have served as 214 parking stalls, of which 167 are considered overflow parking. The current zoning of the two additional parcels is R5M, or mixed-use high density residential, the purpose

of which is to provide high-density housing with limited commercial uses within the same structure. The intent of the district is to meet or exceed the Comprehensive Plan's goal of 28 residential units per acre.

Lynch clarified that a PUD is essentially laid over the top of the zoning and allows flexibility in the use of the land. A PUD is required for all developments having two or more principal uses or structures on a single parcel of land.

Buhl has proposed a 630 square foot building for a Caribou Coffee with a drive-thru facility, comprising .43 acres of the 2.58 acres west of Amber Union. The building would have a walk-up window and exterior seating, but no internal space or seating for customers. There would be a 183' stacking lane for vehicles. The plan would remove 58 parking stalls from the existing lots, leaving 109 spaces considered overflow.

After Buhl approached the city, staff identified three potential options for the project to move forward:

1. Amend City Code to allow drive-throughs by right
2. Amend City Code to allow drive-throughs in certain zoning districts by a Conditional Use Permit. This allowance would stay with the land.
3. Amend City Code to allow drive-throughs through PUDs, which would also require an amendment to the existing Amber Union PUD

This project will be looked at through Option 3. The Amendment process would be the same as for any amendments to the Zoning chapter of city code.

The changes would be as follows:

1. Amend City Code definition of a drive-through facility to allow for eating establishments only as part of a PUD
2. Amend the Amber Union PUD to extend to cover the two additional parcels
3. Amend permitted uses for Amber Union PUD
4. Amend supplemental regulations for drive-through facilities

Pete Deanovic from Buhl Investors then provided an overview of the project, which is contained within the meeting agenda packet. Mr. Deanovic noted the existing partnership between Buhl and the City of Falcon Heights during the Amber Union Projects, and the desire to create a mutually beneficial project for Buhl and the City. He also noted his earlier promise to not propose a project for the western parcels before Amber Union was 100% occupied, which he noted was reached in early 2023. Paul Guidera, Director of Real Estate for Caribou, then gave some of the history and context behind Caribou's decision to partner with Buhl to propose a project at this location.

Chair Wilson then opened the public hearing.

Farook Meah (1597 Hollywood Ct) – Concerns about traffic, removal of stop sign on Snelling Drive, garbage generated by Amber Union.

John Larkin (1725 St Mary's St) – Request that Commission consider use of PUDs in planning process, use more as a planning tool than acceptance of projects on individual lots and locations. Consider separation of modifications to code & PUD submissions to be reviewed separately.

Judy Baldwin (1603 Hollywood Ct) – Concerns about Amber Union garbage, additional waste generated by additional business. Traffic/stop sign removal.

Irene Gengler (1611 Hollywood Ct) – Concerns of traffic flow, questions about traffic study.

Mary Ryker (1710 W Larpenteur) – Concerns for traffic, pedestrian safety crossing Larpenteur, trash at bus stop and Amber Union.

Jim Bykowski (1745 St Mary's St) – Questions about lot space south of the planned Caribou, exits to side streets.

Bev Larkin (1725 St Mary's St) – Pedestrian and vehicle safety. Traffic study was 5 days in February, not representative of year-round

Jeannie McPherson (1724 Asbury St) – Concern that approving this could open other businesses to request drive-throughs

Heather McNeff (1710 Asbury St) – Concerns about air pollution, children living nearby

Kate Laszewski (1615 Maple Knoll Dr) – Project does not match goals of current zoning, business model is based on commuters not residents, pedestrian access is through a window and thus seasonal.

Chuck Laszewski (1713 St Mary's St) – Asked whether a carbon dioxide emissions study was done – no. Traffic flow concerns. Other cities including Minneapolis have banned drive-throughs in large part because of carbon dioxide emissions. Climate and environmental concerns. Keep drive-throughs out of Falcon Heights.

Rice Davis (1407 California Ave) – Follow the Jan 11th City Council climate resolution. Other location drive-through coffee shops (Starbucks, Mudslingers) have traffic issues. 26 events at fairgrounds, will make morning traffic challenging throughout summer.

Wendy Noble (1539 Crawford Ave) – Drive-through issue has been reviewed and renewed on many occasions. Don't believe that a PUD should be used as an exception for drive-throughs.

Katie Carpenter (1700 St Mary's St) – Referenced January 2023 City Council climate resolution. Pedestrian safety.

Chair Wilson asked two additional times for any public speakers. Commissioner Mogen motioned to close the hearing, approved by consent.

Commission members then discussed their thoughts on the issue. Commissioner Mogen noted his concerns about the existing zoning, and that this plan is among the lowest density potential uses of the land, in addition to concerns about traffic and questioning the revisiting of what has been 20 years of not allowing drive-throughs. Commissioner Gerich expressed concerns about modifying both the city code and PUD together to allow this project, and the precedent that could be set by utilizing this option to allow drive-throughs in the city. Chair Wilson complimented Buhl on the Amber Union project and clarified with Mr. Deanovich when the building was fully occupied. City Administrator Linehan noted that the city commissioned the traffic study, not the developer. Wilson noted the project does not fully align with the Comprehensive Plan regarding environmental, safety, and health concerns.

Commissioner Anderson motioned to recommend the denial of the amendment to City Council, the motion passed by 4-0 vote.

Chair Wilson called a 5-minute recess, the meeting resumed at 8:45

F. NEW BUSINESS

1. Comprehensive Plan Review

Staff Liaison Lynch discussed the subcommittee meeting to review progress towards the policies and goals of the Comprehensive Plan. The commission decided to make the April 25th Planning Commission meeting a workshop unless critical agenda items or a public hearing is scheduled ahead of time.

G. INFORMATION AND ANNOUNCEMENTS

1. Staff Liaison Report

Staff Liaison Lynch announced the submission of an application for the Critical Corridors grant fund to do the Larpenteur/Snelling corridor study. The City Council approved the grant application in the last meeting.

2. Council Liaison Report

Mayor Gustafson expressed his pleasure in re-engaging with the Planning Commission and is looking forward to working with the group again.

Commissioner Mogen motioned to adjourn, approved 4-0

ADJOURN 8:50 P.M.

City Code, Amber Union PUD Amendment

City of Falcon Heights, Planning Commission

March 28, 2023

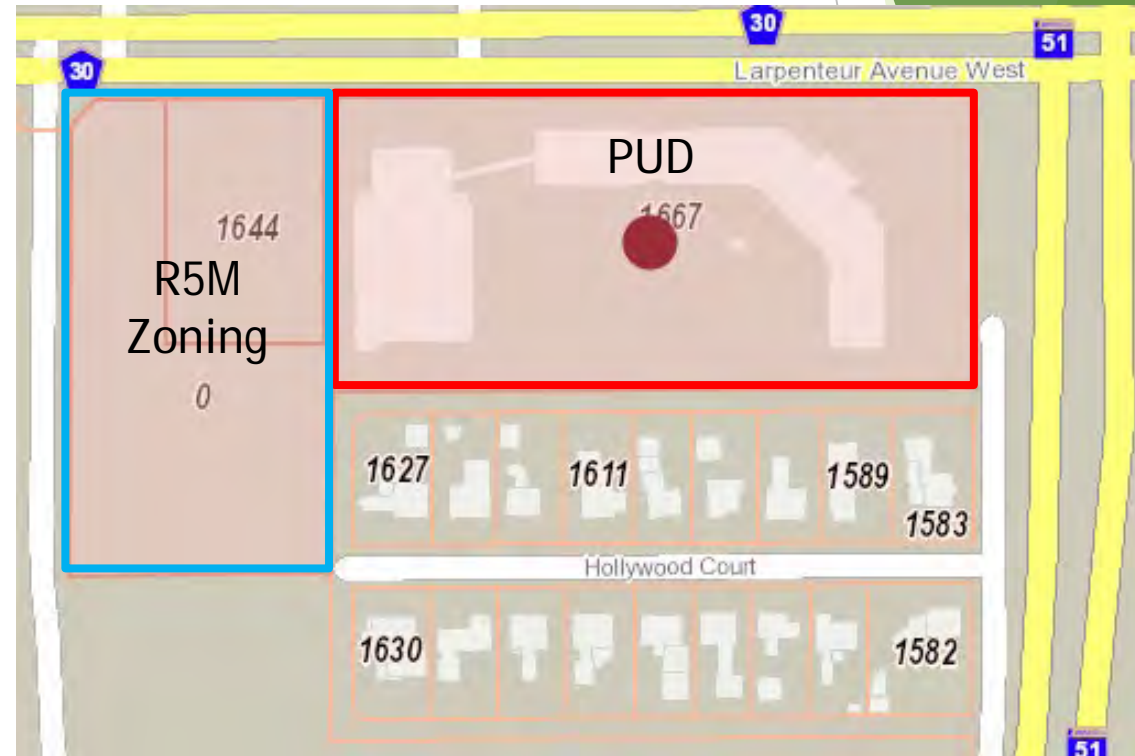
History of Amber Union PUD

- ▶ Previously home of Harvest States Cooperative, then offices for Technology and Information Educational Services (TIES)
- ▶ Rezoned in June 2019 as a Planned Unit Development
 - ▶ Mixed-Use - Multi-Family Affordable Housing and a Retail Space
- ▶ PUD amended in October 2019 to increase number of apartments to be constructed from 106 to 128, then reduced to 125 in 2021.
- ▶ Received Certificate of Occupancy and opened in late-2022



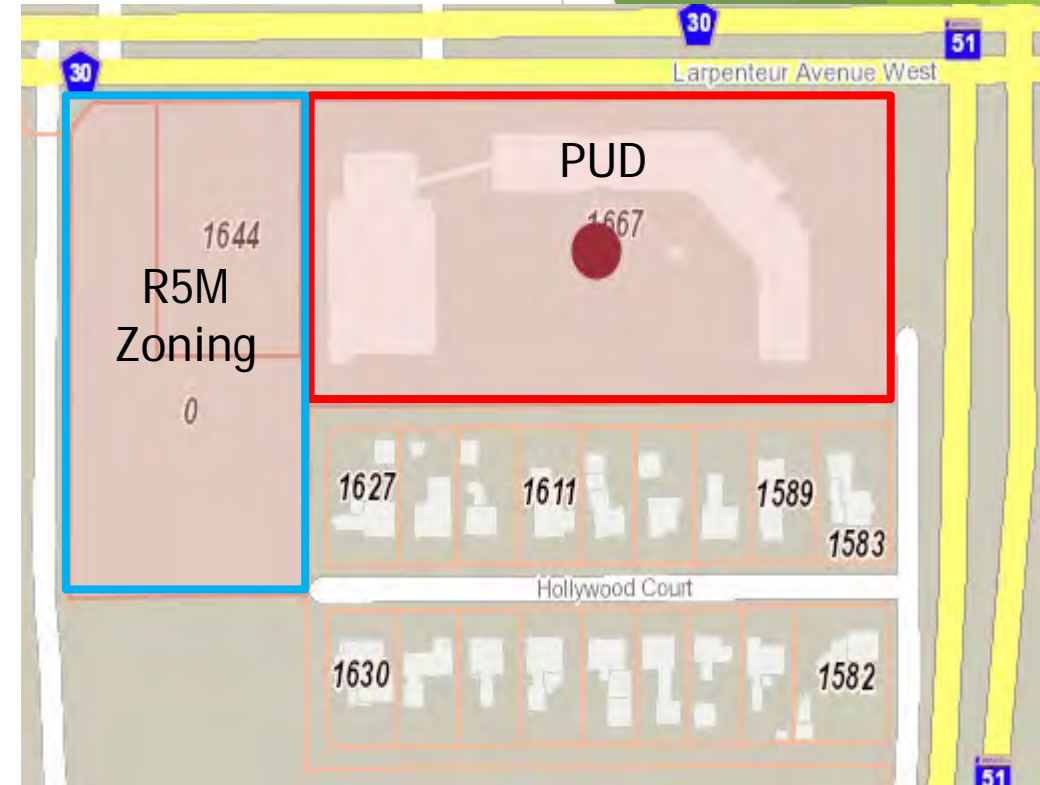
History of Amber Union PUD

- ▶ Located at 1667 Snelling Avenue - encompasses 3.78 acre parcel
- ▶ Two additional parcels to the west - have served as 214 parking stalls, 167 of those as overflow parking



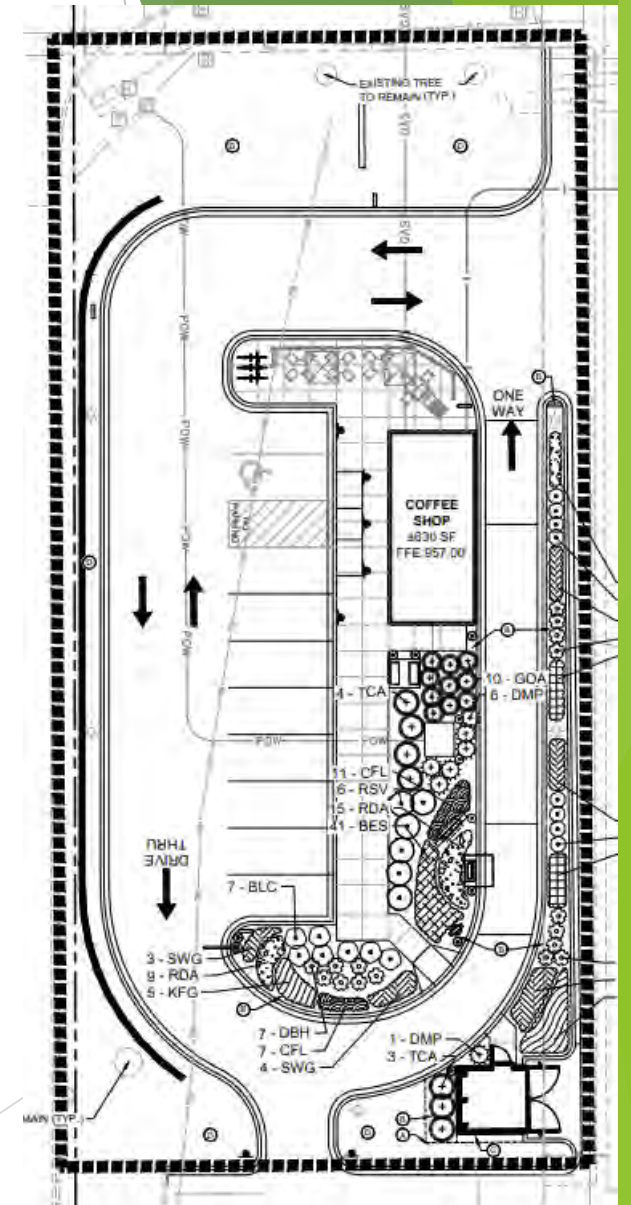
Planned Unit Developments

- ▶ Intended to allow flexibility in:
 - ▶ Site Design
 - ▶ Conservation of Land and Open Space
 - ▶ Deviations in standards including setbacks, heights, similar regulations
- ▶ Required for all developments having two or more principal uses or structures on a single parcel of land
- ▶ Permitted uses, standards, and development plan are set forth in the ordinance for the PUD



Project Request - Coffee Shop with Drive-Through

- ▶ Proposing a 630 SF building with drive-through facility
- ▶ Comprises .43 acres of the 2.58 acres west of Amber Union Apartments
- ▶ 183' stacking lane for vehicles



Project Request - Coffee Shop with Drive-Through



Project Request - Coffee Shop with Drive-Through



Project Request - Coffee Shop with Drive-Through

- ▶ How will parking change?
 - ▶ Currently - Two additional parcels, 214 car stalls
 - ▶ 47 Restricted for Amber Union residents, leaving 167 as excess parking
 - ▶ 67 Removed during construction
 - ▶ 9 Added back
 - ▶ Net impact is a loss of 58 spaces
 - ▶ Remaining excess parking is 109 spaces.



Project Request - Coffee Shop with Drive-Through

- ▶ Drive-throughs prohibited in Falcon Heights, except for banking / financial institutions
- ▶ Three Options:
 - ▶ City Code Amendment to allow by right
 - ▶ Conditional Use Permit
 - ▶ Planned Unit Development

Three Options:

- ▶ Allow By Right:
 - ▶ Amend City Code
 - ▶ Allow drive-through facilities for eating establishments by right in a specific zoning district(s)
 - ▶ Administrative Procedure - No hearing, if application meets all requirements, permit is approved.
- ▶ Conditional Use Permit:
 - ▶ Amend City Code
 - ▶ Allow drive-through facilities for eating establishments with a CUP in a specific zoning district(s)
 - ▶ Quasi-Judicial Procedure - Has a hearing, but if applicant meets conditions, permit is approved. Additional conditions may be added to permit.
- ▶ Planned Unit Development / PUD Amendment
 - ▶ Amend City Code
 - ▶ Amend PUD for Amber Union
 - ▶ Allow drive-through facilities for eating establishments in PUDs only
 - ▶ Legislative Procedure - Has a hearing, application can be approved or denied with discretion of City Council

Planned Unit Development Amendment

- ▶ Substantial Changes in Final Development Plan, after certificate of occupancy has been issued:
 - ▶ Amendment process - The same as that for all other amendments to the Zoning chapter
 - ▶ Application, Notice of Hearing, Public Hearing
 - ▶ Recommendation to approve or deny application from Planning Commission to City Council
 - ▶ Consistency with Comprehensive Plan
 - ▶ 60 Days for Approval or Denial

Planned Unit Development Amendment

▶ PUD Amendment Option

- ▶ Amend City Code definition of drive-through facility - allow for eating establishments only as part of a PUD
- ▶ Extend PUD to two additional parcels
- ▶ Amend permitted uses for Amber Union PUD
- ▶ Amend supplemental regulations for drive-through facilities
- ▶ Consistency with Comprehensive Plan

Planned Unit Development Amendment

▶ PUD Amendment Option

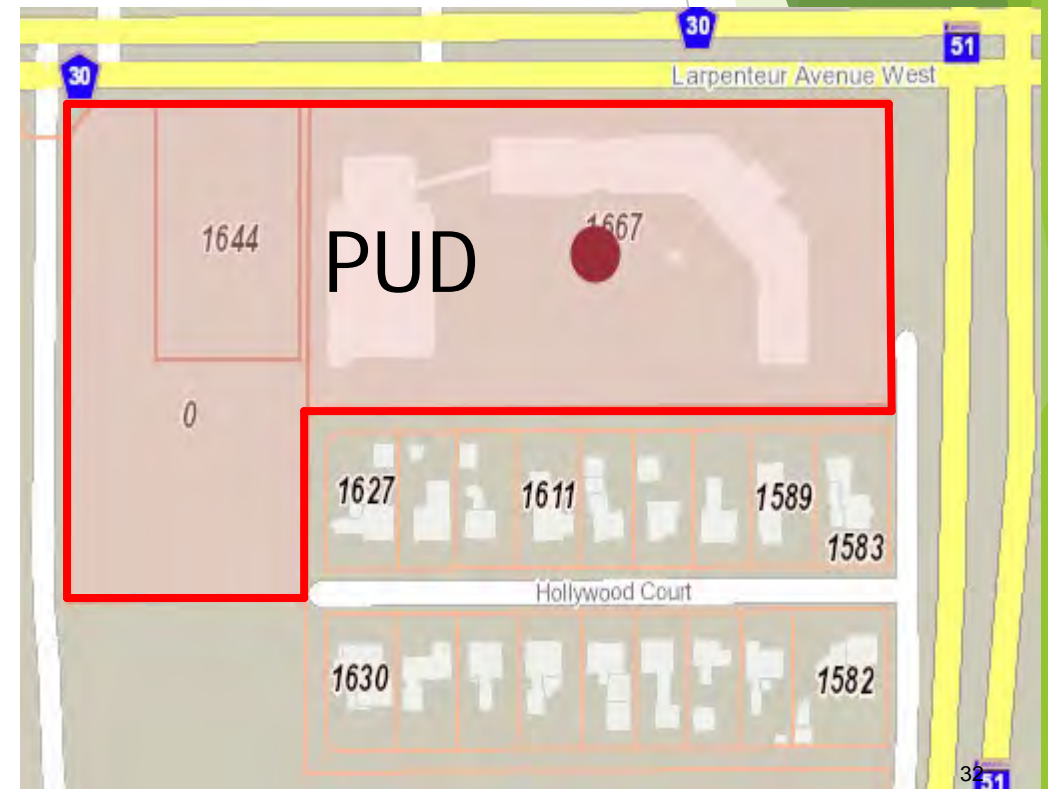
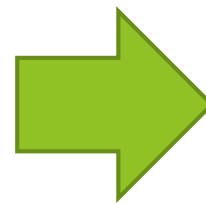
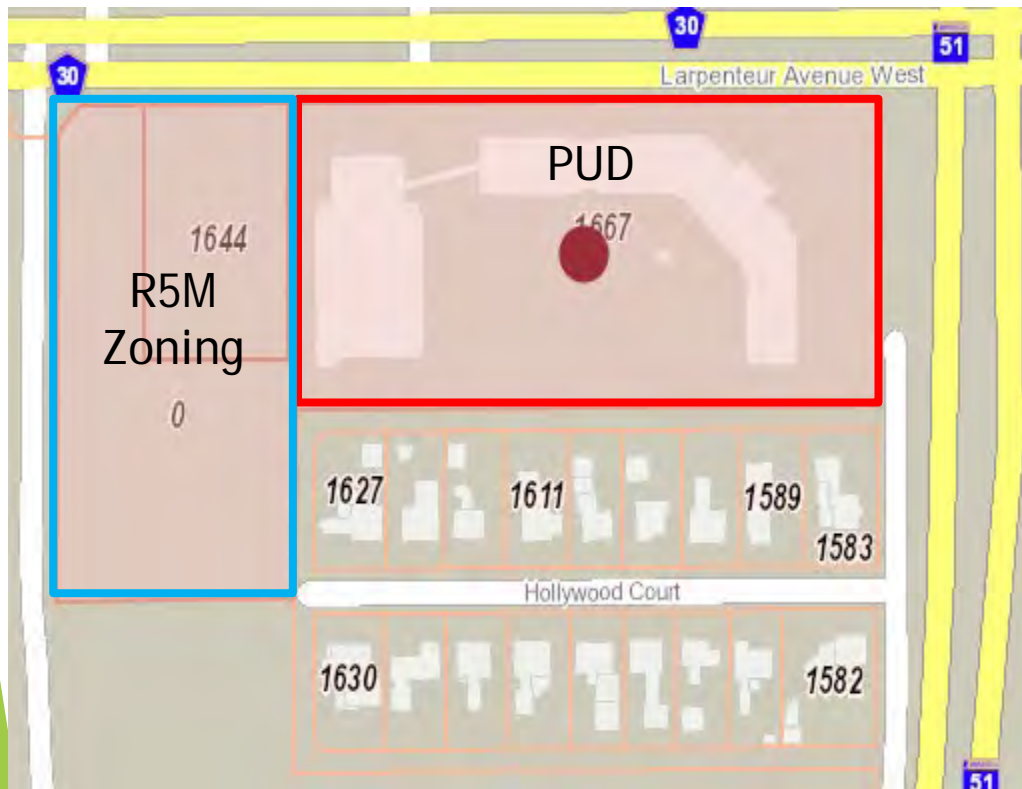
- ▶ Amend City Code definition of drive-through facility - allow for eating establishments only as part of a PUD

Sec. 113-3 - Definitions

Drive-through facility means the use of land, buildings or structures, or parts thereof, to provide or dispense products or services, either wholly or in part, through an attendant or window or automated machine, to persons remaining in motorized vehicles that are in a designated stacking lane. ~~A drive-through facility may be permitted only as an accessory use in combination with a bank of financial institution.~~ A drive-through facility may be permitted as an accessory use in combination with a bank or financial institution. A drive-through facility for an eating establishment may be permitted only as part of a PUD. A drive-through facility does not include a vehicle washing facility, a vacuum cleaning station accessory to a vehicle washing facility, or an automobile/gasoline service station.

Planned Unit Development Amendment

- ▶ PUD Amendment Option
 - ▶ Extend PUD to two additional parcels



Planned Unit Development Amendment

▶ PUD Amendment Option

▶ Amend permitted uses for Amber Union PUD

(c) *Permitted uses and zoning regulations.* The R5-M mixed use high density residential district regulations shall apply to the property subject to the following modifications:

- (1) Permitted uses: One principal structure consisting of 111,640 square feet and 89 apartment units and one principal structure consisting of 59,195 square feet, 39 apartment units, and one retail space. One eating establishment consisting of 630 square feet and an accessory drive-through facility, including all restrictions as outlined in section 113-252, except 113-252(1). Speaker for drive-through facility must be located no more than 100' from residential used property.

Planned Unit Development Amendment

► PUD Amendment Option

► Amend supplemental regulations for drive-through facilities

Sec. 113-252 – Drive-through facilities

Drive-through facilities are prohibited except when specifically allowed by a conditional use permit in a zoning district, or PUD. When allowed, all drive-through facilities must comply with the following requirements:

- (1) The drive-through facility, service window and speakers must be located at least 100 feet from a residential zoned or used property and must be visually screened from adjoining residential property.
- (2) The entrance and exit drive lanes to the drive-through facility must be at least 75 feet from a street intersection.
- (3) The lot on which the drive-through facility is located must be at least 35,000 square feet in area.
- (4) The minimum on-site stacking distance available for the drive-through must be 180 feet in length.
- (5) Drive-through facilities may only be operated between the hours of ~~7:00 a.m.~~ 6:00 a.m. and 8:00 p.m.
- (6) No speaker noise may be audible from adjacent residential property.
- (7) A traffic study must be completed documenting that the drive-through facility will not create traffic problems.

Planned Unit Development Amendment

- ▶ Is the use consistent with the Comprehensive Plan?

Sec. 113-35 - Amendments

(e) *Consistency with comprehensive plan.* No amendment to this chapter shall be adopted which is in conflict with the city's comprehensive plan.

- ▶ Considerations:

- ▶ Walkability
- ▶ Traffic study completed - in packet
- ▶ Drive-Throughs not mentioned in Comprehensive Plan

Other Considerations

- ▶ Traffic Study (completed, in packet)
- ▶ City Engineer Recommendations (in amended packet)
- ▶ Fire Marshal Comments (in amended packet)

What are the next steps?

- ▶ Hold a Public Hearing
- ▶ Planning Commission to discuss
 - ▶ Are requirements met?
 - ▶ Is this consistent with the Comprehensive Plan?
- ▶ Provide a recommendation of approval or disapproval to City Council
- ▶ City Council will discuss and make final determination at next meeting

**Falcon Heights – Planning Commission
March 28, 2023**



Amber Union Apartments Update

125 Affordable Units Delivered

- Both buildings completed construction Oct. 2022
- 100% occupancy achieved Q1 2023
- Project completed on time and under budget
- Larger units (3/4 BD units) first to be leased



Proposed Development (Overall Site)

Caribou Cabin Drive-Thru

- 630 SF building. 0.43 acres of 2.58 acres west of apartments
- Same design team as Amber Union
 - Mohagen Hansen (Architect), Kimley Horn (Civil/Landscaping)



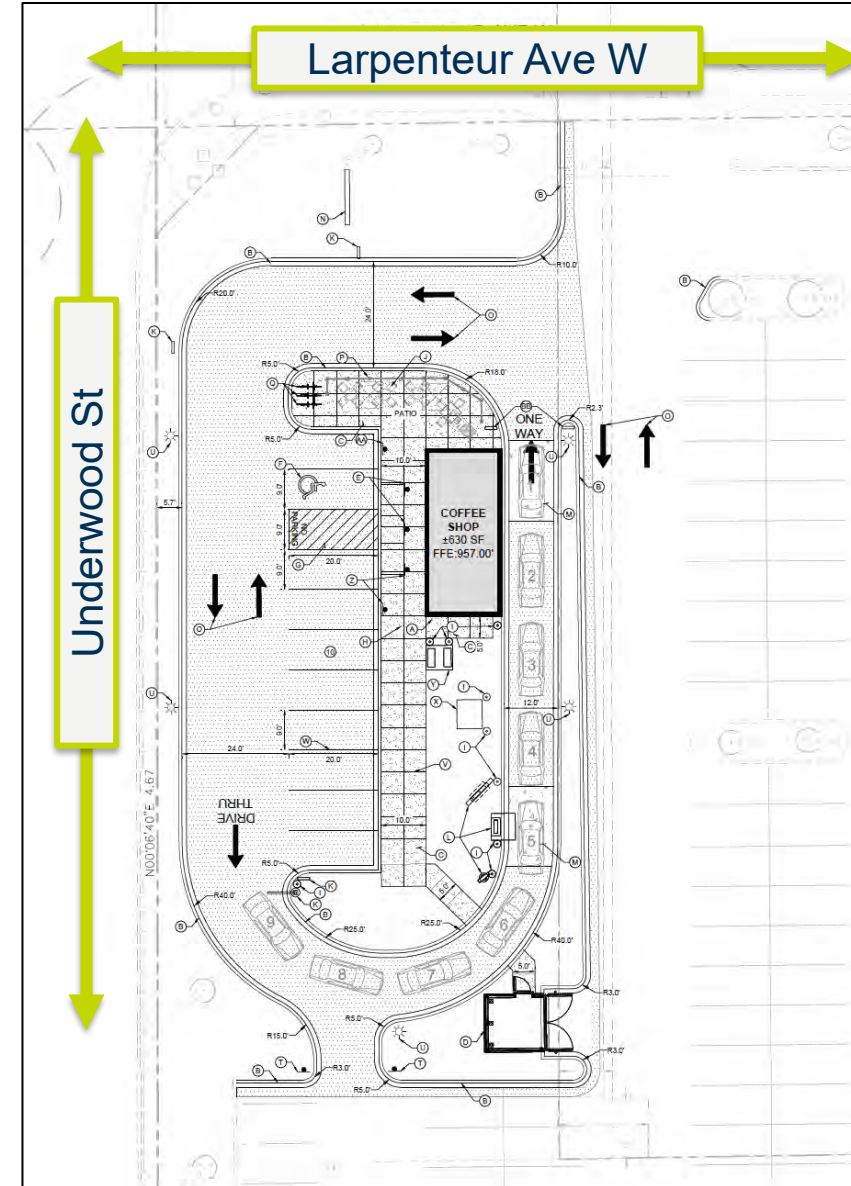
Proposed Development (Site Plan)

Project Benefits

- Proposed impervious shrinks existing pavement surface
- Incorporates improved patio space and connectivity to Amber Union Apartments
- Retain additional land/parking for future uses
- Delivers complimentary uses without impacting parking reserved for apartments

Property Tax Impact

- \$2MM valuation upon completion, \$33,000 in taxes annually
- Represents overall tax increase of \$27,167.70 or 77.79% increase⁽¹⁾



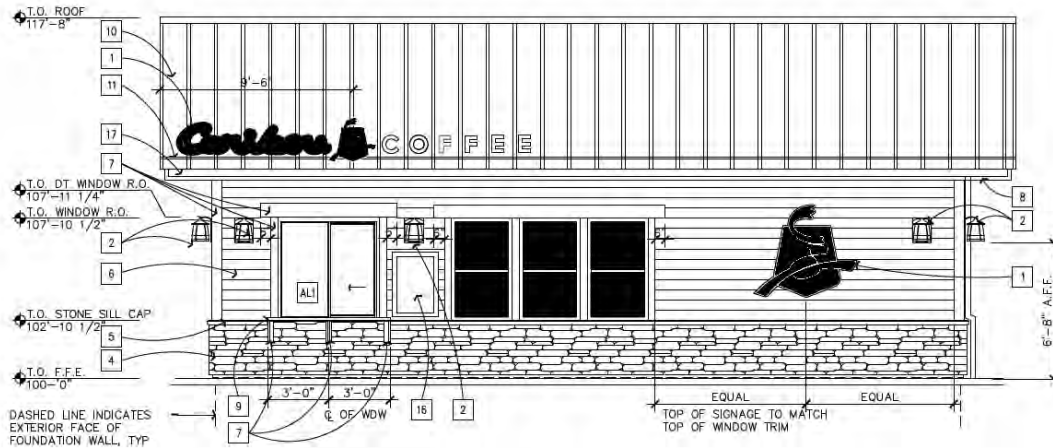
(1) \$5,832.30 of current taxes attributed to development site, \$34,926.00 paid on existing 2.58 acres.

Parking Impact

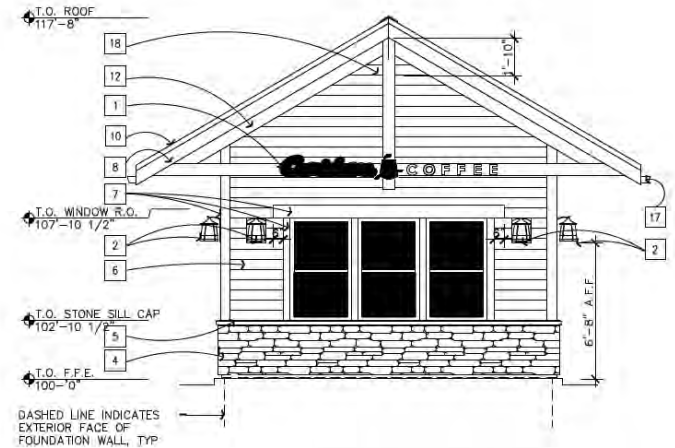
- **Pre-Development:** 47 stalls retained for Amber Union Apartments
- **Development:** 67 stalls removed; 9 stalls added back; 58 net stalls removed
- **Post-Development:** 109 excess parking stalls for future development

Amber Union Apartments	
Amber Union Parcel (PID 212923110030)	92
Reserved stalls on western parking lot	47
Total Parking - Amber Union Apartments	139
Pre-Development (Western Parking Lot)	
Excess Stalls (retains 47 stalls for Amber Union)	167
Proposed Changes	
Removed in Construction	-67
Added back per Retail Standard Ratios (11/1,000 SF)	9
Resulting Impact	-58
Remaining Excess Parking (future development)	109

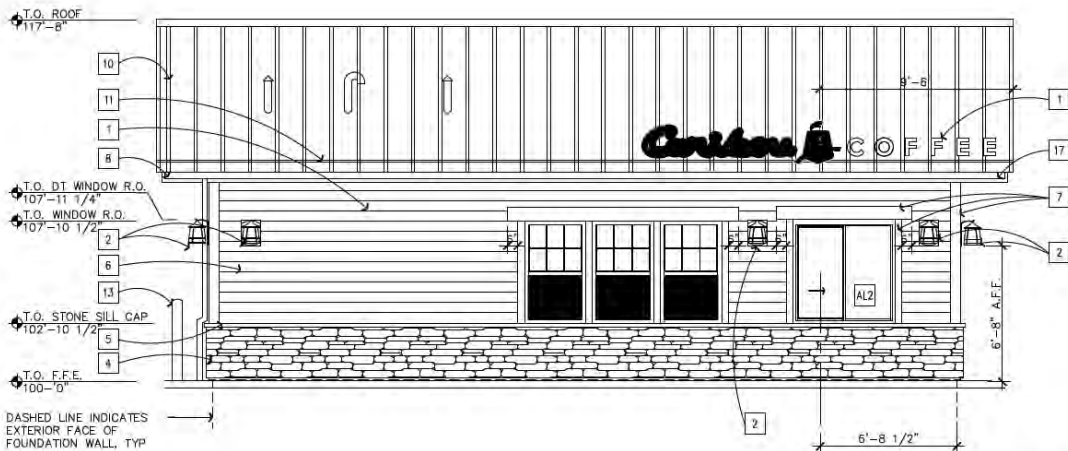
Exterior Elevations



1 SIDE ELEVATION (WEST)
1/4" = 1'-0"

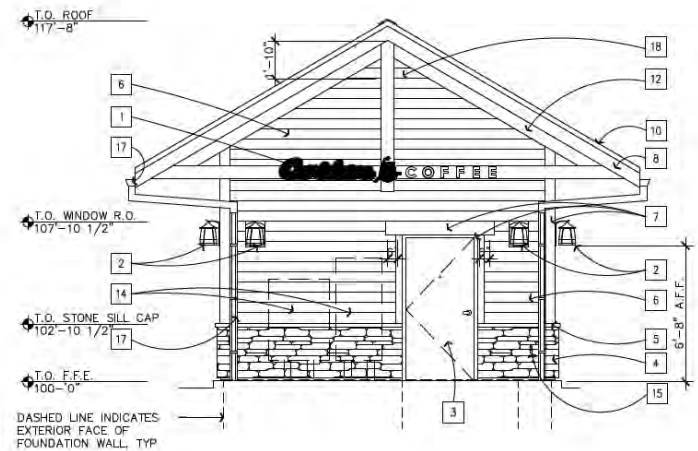


2 FRONT ELEVATION (NORTH)
1/4" = 1'-0"



3 SIDE ELEVATION (EAST)
1/4" = 1'-0"

NOTE: THE CONCRETE PAD BELOW THE DRIVE-THRU WINDOW SHOULD BE CENTERED ON THE OPERABLE PORTION OF THE DRIVE-THRU WINDOW. SEE SITE PLAN FOR MORE INFORMATION



4 REAR ELEVATION (SOUTH)
1/4" = 1'-0"

Caribou Offerings

Drink Menu:



LATTE



ICED CRAFTED PRESS



MOCHA



COFFEE OF THE DAY



COLD PRESS ICED COFFEE



HOT PRESS



AMERICANO



CAPPUCCINO



CARAMEL ESPRESSO SHAKER



VANILLA ESPRESSO SHAKER



WHITE CHOCOLATE ESPRESSO SHAKER



ICED OATMILK CRAFTED PRESS WITH OATMILK COLD FOAM



BLENDED BOUSTED BLACKBERRY LEMONADE



BOUSTED PEACH BLACK TEA



BOUSTED GREEN TEA LEMONADE



BLENDED BOUSTED CHERRY LIMEADE



SPICED CHAI LATTE



CLASSIC CHAI LATTE



EARL GREY TEA LATTE



ICED MATCHA VANILLA TEA LATTE



All-day Breakfast Menu:



TURKEY BACON, EGG & CHEDDAR MINI



JUST EGG™, ROASTED TOMATO & PESTO FLATBREAD



CHICKEN APPLE SAUSAGE, EGG & CHEDDAR



BACON, EGG AND CHEDDAR



MAPLE WAFFLE SANDWICH



SAUSAGE, EGG & CHEDDAR



HAM, EGG & SWISS CROISSANT



LUMBERJACK



PLAIN BAGEL



PLAIN BAGEL WITH CREAM CHEESE - LODGE



ASIAGO BAGEL



ASIAGO BAGEL WITH CREAM CHEESE - LODGE



RASPBERRY WHITE CHOCOLATE SCONE



LEMON POPPY SEED BREAD



CHOCOLATE CAKE POP



CINNAMON COFFEE CAKE

Lunch Menu:



TURKEY & PROVOLONE SANDWICH



CAPRESE SANDWICH



GRILLED CHEESE



HAM & SWISS

Thank you!





City of Falcon Heights Planning Application

FOR INTERNAL USE:

Date received: _____

Receipt: _____

Action Requested By:

Name of Property Owner BUHL LARPENTEUR WEST LLC

Phone (h) 612-968-3728 (w) 612-968-3728

Address of Property Owner 5100 Eden Ave, Suite 317, Edina, MN 55436

Name of Applicant (if different) Pete Deanovic

Address 5100 Eden Ave, Suite 317, Edina, MN 55436 Phone 612-968-3728

Property Involved:

Address Parcel 1

Legal Description The East 250 feet of the North 500 feet except the West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23.

Property Identification Number (PIN) 212923110029

Present Use of Property (check one):

- | | |
|---|---|
| <input type="checkbox"/> Single Family Dwelling | <input type="checkbox"/> Business/Commercial |
| <input type="checkbox"/> Duplex/Two Family Dwelling | <input type="checkbox"/> Government/Institutional |
| <input type="checkbox"/> Multi Family Complex | <input type="checkbox"/> Vacant Land |

Action Requested (NON-REFUNDABLE):

- | | |
|---|---|
| <input type="checkbox"/> Variance (\$500.00) | <input type="checkbox"/> Lot Split (\$250.00) |
| <input type="checkbox"/> Conditional Use Permit (\$500.00) | <input checked="" type="checkbox"/> Site Plan Review (\$100.00) |
| <input checked="" type="checkbox"/> Rezoning, Zoning Amendment (\$500.00) | <input type="checkbox"/> Subdivision (Fee on request) |
| <input type="checkbox"/> Comprehensive Plan Amendment (\$550.00) | <input type="checkbox"/> Other (Please Specify)
_____ |

The above Application Fees do not include any additional fees that might be required, including legal, engineering, consulting and additional City services. Applicants should meet with City Staff prior to submitting application to discuss applicable ordinances, required attachments, timelines and fees.

Credit card charges will incur a 3.1% + \$0.30 convenience fee.

Brief Summary of Request (applicant may submit letter to Planning Commission with details of request):

Please see attached narrative.

I certify that all statements on this application are true and correct:

Signature of Property Owner (required)

Signature of Applicant (if applicable)

Planning Commission meeting: _____ City Council meeting: _____ Approved ___ Denied ___

Project Narrative – Amber Union

Site History

The Site was undeveloped until sometime between 1908 and 1916 when two dwellings and associated structures were constructed on the eastern two-thirds of the Site. By 1940, the western portion of the Site had been developed for cultivated cropland. Residential and cultivated cropland use continued until 1946 when the original portions of the existing Site buildings were constructed. In 1946/1947, the eastern Site building was used for office, post office, and printing purposes, while the western building (now an event center) was occupied by an automotive service and repair garage, a filling station, a crop testing laboratory, and two levels of tempered parking. In 1957, an addition was built on to the eastern building and in approximately 1977, a third level office space was constructed on the southern portion of the existing event center building, directly above the two levels of tempered parking.

Buhl GTA, LP purchased the Site in April 2019 as a vacant building and slated for redevelopment. The entire building was repositioned in 2022 to accommodate 125 units of income restricted housing, which are now 100% leased. At the time of the development, the excess land and parking was transferred to a Buhl controlled entity, Buhl Larpenteur West LLC. The scope of this project is exclusively tied to that portion of land.

Since 2019 acquisition, the adjacent parking lot was serving as overflow parking. This area is currently configured 214 car parking lot, some of which is reserved for additional Amber Union parking and was contemplated to be revisited as a continued need once occupancy stabilization was reached. The proposed plan isn't contemplating changing the ratios agreed to during the 2020 council meetings. This development relates to the or adjusting this but instead works within the 2.58 acres located to the West of the building. Parking impact can be detailed as follows:

Pre Development	Current Configuration	Proposed Redevelopment
Amber Union Parcel (PID 212923110030)	92	92
Restricted for Amber Union Use within excess land	<u>47</u>	<u>47</u>
	139	139
<u>Pre Development</u>		
Totally Unencumbered within excess land (A)	167	167
<u>Proposed parking changes for development</u>		
Removed in Construction		(67)
Added back per Retail Standard Ratios (11/1,000 SF)		<u>9</u>
Resulting impact		(58)
Remaining excess Parking		109

To date, the excess 167 parking stalls have only served as State Fair parking for those 12 days and doesn't service the broader community during non-state fair parking days. Buhl has been working for the last 2 years to attract retailers that might be a suitable anchor for the street frontage and are excited to report securing terms with an established food and beverage operator that compliments the adjacent residential.

If approved, and once completed, the project would comprise approximately 0.43 acres of the 2.58Acres located to the west of the property and approximately 1/3 of the taxable parcel (note there are two parcels that are parking located to the west of the building). The following highlights the area impacted relative to the overall project:



Proposed Development

Buhl Larpenteur West LLC is proposing to develop a stand alone 630 SF building on a total 1.78 acre site, disturbing just .43 acres of existing impervious parking surface. Once completed, this project would provide the following benefits:

- \$2,000,000 valuation upon completion, resulting in approximately \$33,000/year in taxes.
- Proposed impervious is shrinking existing pavement surface.
- Incorporates improved patio space and connectivity to Amber Union Apartment project.
- Retains additional land/parking for future uses while delivering complimentary uses and not impacting the parking reserved for Amber Union apartments.

In order to realize this project, Buhl Larpenteur West LLC has assembled many of the same folks that assisted in bringing Amber Union Apartments to fruition, including Mohagen Hansen Architects and Kimley Horn. Collectively, we feel this group is well positioned to execute on the overall plan.

Supporting Ramsey County Goals and Objectives

We believe that this project will support the Ramsey County Goals and Objectives as presented in the ERF Application and as described below:

- Strengthening individual, family, and community health, safety and well-being by providing walkable food offerings immediately adjacent to the Amber Union Apartments
- Cultivate economic prosperity and invest in neighborhoods with concentrated financial poverty
- Enhance access to opportunity and mobility for all residents and businesses

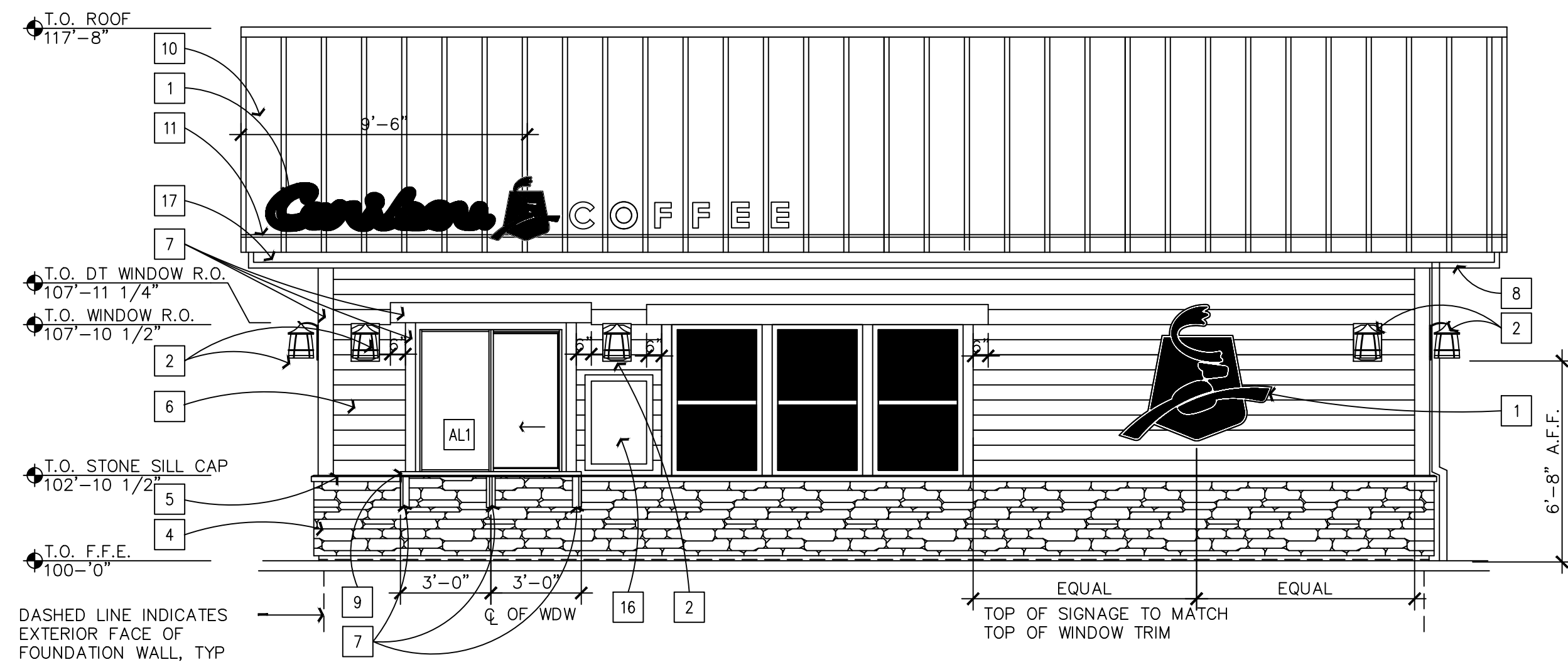
The proposed project is consistent with the City's future plans which promotes the Larpenteur Corridor as the "Axis of Redevelopment". The proposed project would help achieve the goals and objectives as stated within the City Comprehensive plan by bringing an increased sense of community directly to the central commercial core of the city, contributing to the City's affordable housing needs and bringing 3.7 acres of previously tax-exempt land onto the City's tax basis plan.

The project team believes that surrounding retail uses are complimentary to establishing a vibrant walkable and livable community. The increase in residents and families immediately adjacent to these uses will provide additional customers and patrons for neighboring restaurants and businesses and contribute to a sense of community and connectedness in the central core of the City.

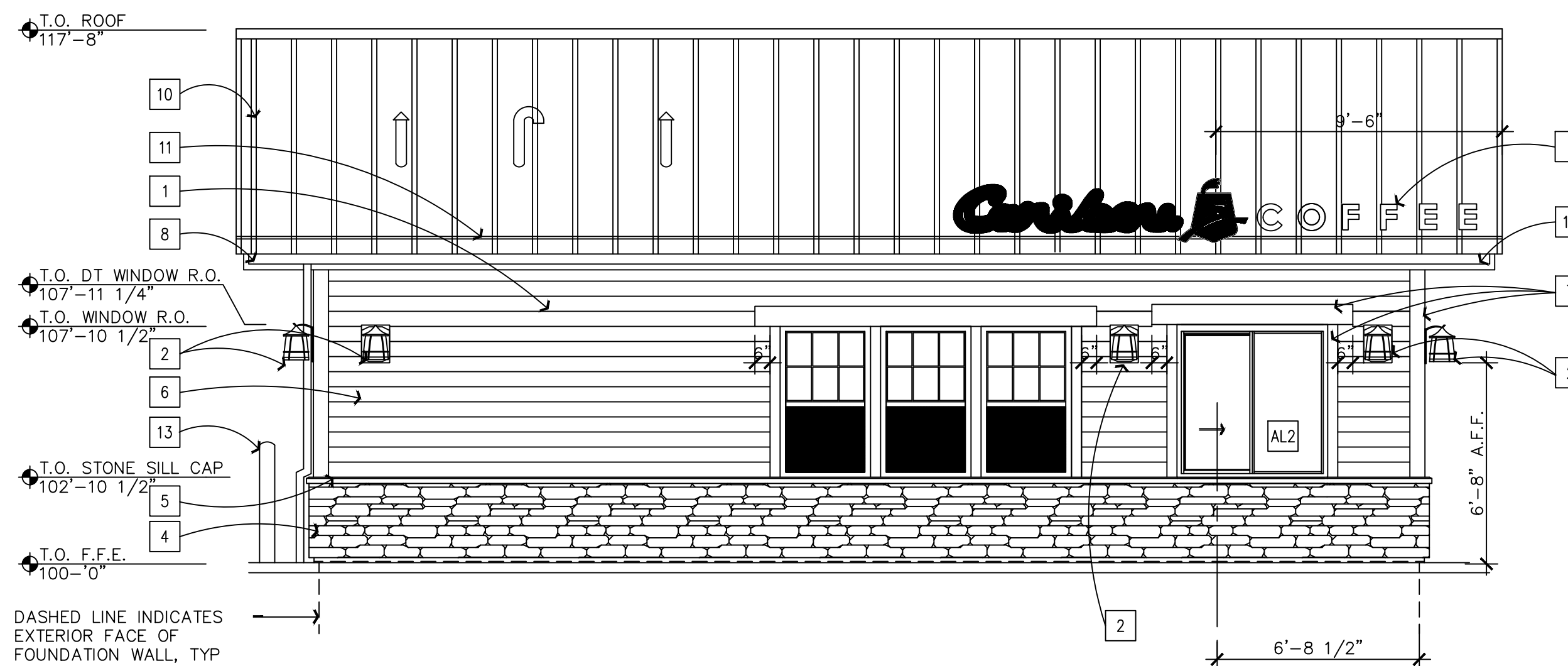
KEY NOTES

- 1 ILLUMINATED CARIBOU SIGNAGE N.I.C. SUPPLIED AND INSTALLED BY SIGN VENDOR. PROVIDE ELECTRICAL AS SHOWN ON ELECTRICAL PLANS. G.C. TO VERIFY DESIGN, DIMENSIONS, BRACKET INSTALLATION REQUIREMENTS, AND ELECTRICAL REQUIREMENTS WITH SIGN VENDOR PRIOR TO ROOFING INSTALL.
- 2 LIGHT FIXTURE - SEE ELECTRICAL PLANS - INSTALL FIXTURE ON 1/4" SMOOTH HARDIE TRIM BOARD MOUNTING PLATE PAINTED TO MATCH ADJACENT LAP SIDING.
- 3 INSULATED, PRE-FINISHED HM DOOR & FRAME - COLOR: BENJAMIN MOORE: BITTERSWEET CHOCOLATE 2114-10. SEALANT AROUND FRAME: MASTERSEAL: SPECIAL BRONZE 259N (TO MATCH ADJACENT SIDING)
- 4 STONE - CULTURED/MANUFACTURED STONE: ENVIRONMENTAL STONEWORKS STYLE: TUSCAN LEDGESTONE, COLOR: LANTANA, SILL CAP: ENVIRONMENTAL STONEWORKS, DRIP LEDGE COLOR: KODIAK. SEALANT COLOR TO MATCH GROUT/MORTAR COLOR (STANDARD GREY)
- 5 PREFINISHED METAL FLASHING - COLOR TO MATCH ADJACENT STONE SILL CAP / DRIP LEDGE: EXCEPTIONAL METALS DARK BRONZE OR FIRESTONE UNA-CLAD DARK BRONZE
- 6 HARDIE PLANK LAP SIDING: 6" EXPOSURE - STYLE: CEDARMILL. COLOR: PRE-FINISHED (REQ'D, NO EXCEPTIONS) TO MATCH BENJAMIN MOORE PAINT COLOR 'CLOUDBURST' SW6487. ALTERNATE: LP SMARTSIDE LAP SIDING, CEDAR TEXTURE
- 7 HARDIE TRIM BOARDS: 1x8, 1x6 & 1x4 - STYLE: 4/4 RUSTIC. COLOR: PRE-FINISHED (REQ'D, NO EXCEPTIONS) TO MATCH BENJAMIN MOORE PAINT COLOR BITTERSWEET CHOCOLATE 2114-10. ALTERNATE: LP SMARTSIDE TRIM BOARDS, CEDAR TEXTURE
- 8 HARDIE TRIM FASCIA BOARDS: 1x8 - STYLE: 4/4 RUSTIC. COLOR: PRE-FINISHED (REQ'D, NO EXCEPTIONS) TO MATCH BENJAMIN MOORE PAINT COLOR BITTERSWEET CHOCOLATE 2114-10. ALTERNATE: LP SMARTSIDE FASCIA BOARDS, CEDAR TEXTURE
- 9 STAINLESS STEEL TRANSACTION SHELF. SEE WINDOW TYPES ON A-100. NOTE: SHELF TO BE SOURCED AND INSTALLED BY SHELL G.C. SEE 1/A-304 FOR WALL DETAILS
- 10 STANDING SEAM METAL ROOFING WITH RIDGE VENT: MATCH UNA-CLAD UC-7 SNAP-ON BATTEN ARCHITECTURAL SERIES ROOFING, 16" O.C., 24 GA. GALVANIZED STEEL W/ KYNAR 500 COATING. COLOR: DARK BRONZE. ROOF METAL FLASHING COLOR: DARK BRONZE TO MATCH ROOF
- 11 METAL ROOFING SNOW GUARD: S-5 COLORGARD OR EQUAL. MATCH UNA-CLAD COLOR: DARK BRONZE
- 12 DECORATIVE END TRUSS: LP SMARTSIDE 540 SERIES CEDAR TEXTURE TRIM, PRE-FINISHED (REQ'D, NO EXCEPTIONS) TO MATCH BENJAMIN MOORE PAINT COLOR BITTERSWEET CHOCOLATE 2114-10
- 13 4'-0" HIGH x 6" DIA. CONCRETE FILLED STEEL PIPE BOLLARD WITH 1/4" "IDEAL SHIELD" BOLLARD COVER IN CARIBOU COFFEE COLOR "SUMATRA" WITH SMOOTH DOME-TOP FINISH. SEE DETAIL 9/A-400
- 14 FIELD VERIFY AND COORDINATE LOCATION OF EXTERIOR ELECTRICAL AND OTHER UTILITY SERVICE EQUIPMENT WITH SITE CONDITIONS AND OTHER SITE AND BUILDING EQUIPMENT (I.E. ROOF DRAINAGE AND DOWNSPOUTS, ETC.) SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR MORE INFORMATION
- 15 EXTERIOR HOSE-BIBB - SEE PLUMBING PLANS FOR MORE INFORMATION
- 16 27"x38" WALK-UP MENU BOARD (BY TENANT, VERIFY SIZE) - COORDINATE WITH TENANT PRIOR TO SIDING INSTALL.
- 17 5" PRE-FINISHED METAL GUTTERS WITH 4"x4" OPEN-FACED DOWNSPOUT SYSTEM. COLOR TO BE DARK BRONZE TO MATCH STANDING SEAM ROOF. PROVIDE CONNECTION TO STORM SEWER SYSTEM AT DOWNSPOUTS - SEE CIVIL DRAWINGS FOR MORE INFORMATION. PROVIDE HEAT TAPE - SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 18 INTAKE LOUVER AT GABLE END WALL - PAINT TO MATCH ADJACENT LAP SIDING. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

NOTES:
 1. SUBMIT SAMPLES AND COLOR CHARTS FOR ALL BUILDING FINISHES, COLORS & FINISHES INCLUDING ROOFING, SIDING, TRIM AND CULTURED STONE ARE SUBJECT TO CHANGE PENDING LEAD TIMES AND FINAL REVIEW AND APPROVAL BY OWNER & ARCHITECT.
 2. SEE PROTOTYPE SHELL BUILDING COLOR SELECTIONS DOCUMENT FOR ADDITIONAL INFORMATION

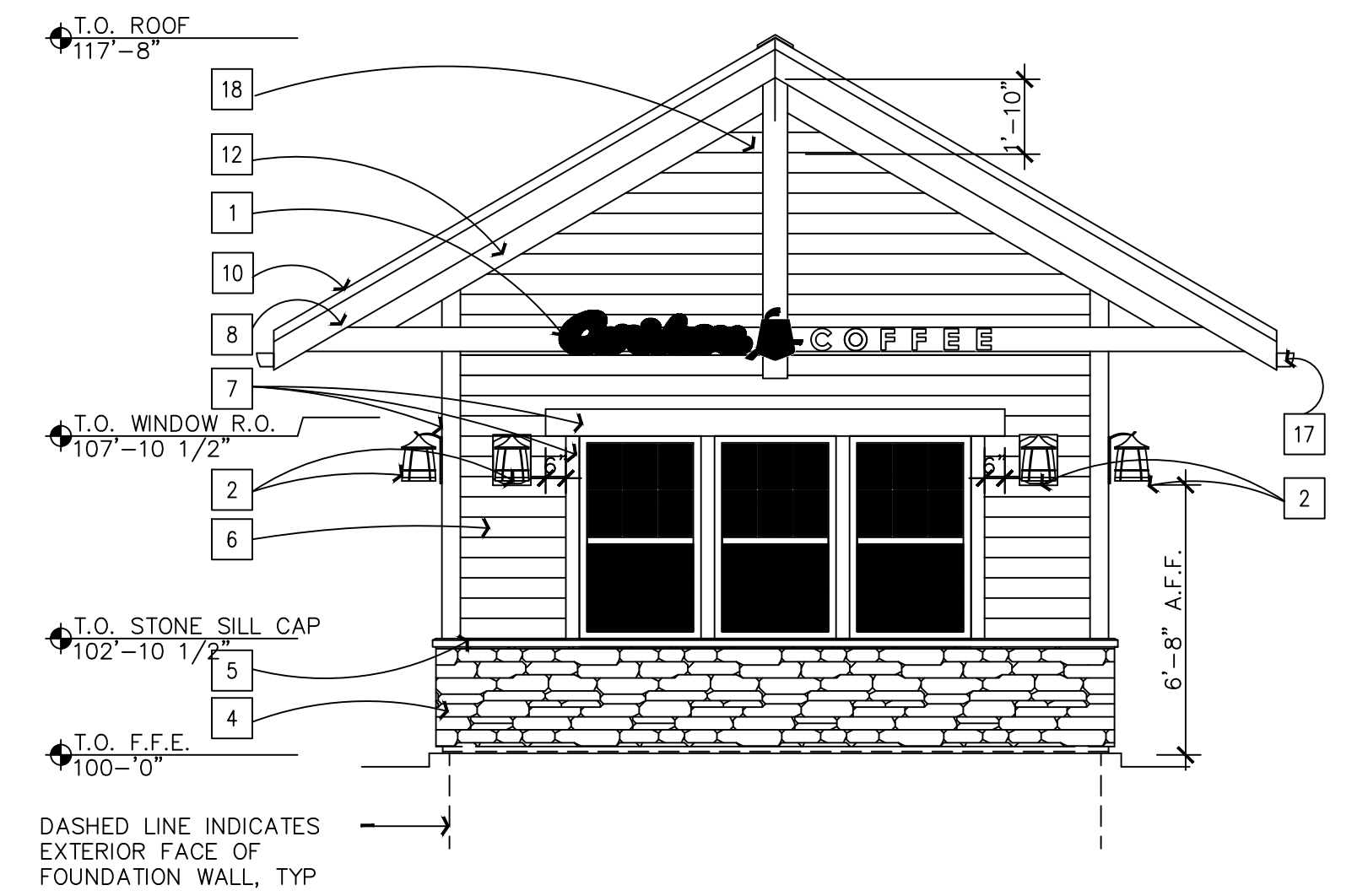


1 SIDE ELEVATION (WEST)
 1/4" = 1'-0"

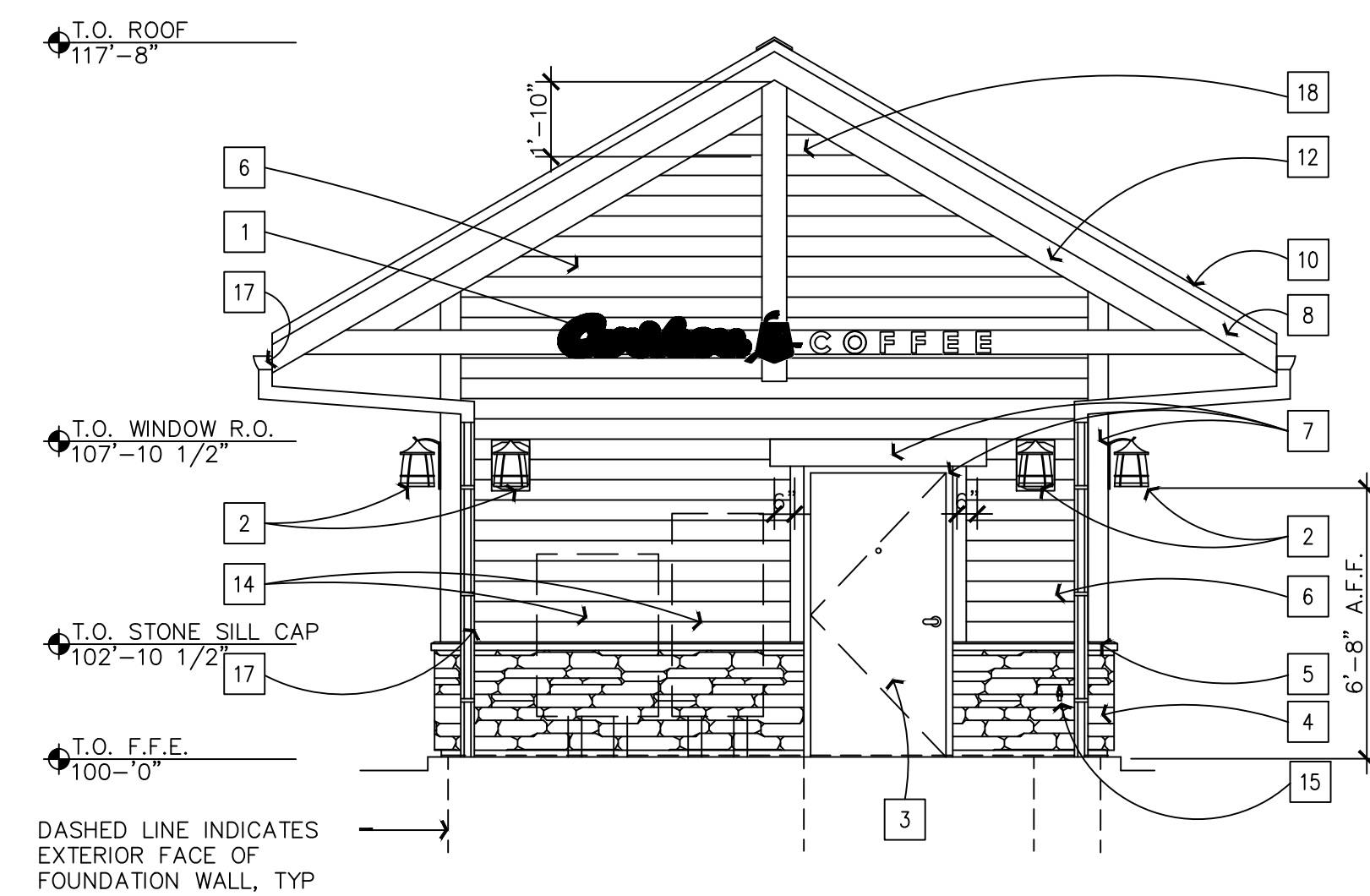


3 SIDE ELEVATION (EAST)
 1/4" = 1'-0"

NOTE: THE CONCRETE PAD BELOW THE DRIVE-THRU WINDOW SHOULD BE CENTERED ON THE OPERABLE PORTION OF THE DRIVE-THRU WINDOW. SEE SITE PLAN FOR MORE INFORMATION



2 FRONT ELEVATION (NORTH)
 1/4" = 1'-0"



4 REAR ELEVATION (SOUTH)
 1/4" = 1'-0"

K:\TWC_LDEV\Buhl Investors\Caribou Cabin Falcon Heights\3 Design\CAD\PlanSheets\CO-COVER SHEET.dwg March 06, 2023 - 1:37pm

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE DEVELOPMENT PLANS FOR

CARIBOU CABIN - FALCON HEIGHTS

SECTION 21, TOWNSHIP 29N, RANGE 23W
FALCON HEIGHTS, RAMSEY COUNTY, MN

PROJECT TEAM:

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: DAN L. ELENBASS, PE
767 EUSTIS STREET, SUITE 100
ST. PAUL, MN 55114
TELEPHONE (651) 645-4197

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: MITCHELL COOKAS
767 EUSTIS STREET, SUITE 100
ST. PAUL, MN 55114
TELEPHONE: (651) 645-4197

OWNER / DEVELOPER
BUHL INVESTORS



5100 EDEN AVENUE
SUITE 317
EDINA MN, 55346
TELEPHONE: (612) 968-3728
CONTACT: PETE DEANOVIC

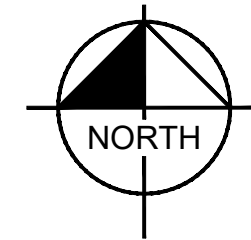
ARCHITECT



1000 TWELVE OAKS CENTER DR
SUITE 200
WAYZATA MN, 55391
TELEPHONE: (952) 462-7400
CONTACT: STEVE PAETZEL



VICINITY
N.T.S.



SITE

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	GENERAL NOTES
V001	SURVEY
V002	SURVEY
C200	DEMOLITION PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
C301	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
C302	EROSION AND SEDIMENT CONTROL DETAILS
C400	SITE DIMENSION PLAN
C500	GRADING AND DRAINAGE PLAN
C600	UTILITY PLAN
C700	CONSTRUCTION DETAILS
C701	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS

NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22x34 SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.



Know what's below.
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

CARIBOU CABIN -
FALCON HEIGHTS
PREPARED FOR
BUHL INVESTORS

FALCON HEIGHTS MN

COVER SHEET

KHA PROJECT
12345678
DATE
03/06/2023
SCALE AS SHOWN
DESIGNED BY RAV
DRAWN BY RAV
CHECKED BY DLE

THESE DRAWINGS AND REPORTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Dan Elenbass

DAN L. ELENBASS, PE
LIC. NO. 4814

DATE: 03/06/2023 LIC. NO. 4814



2022 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

REVISIONS

No.

DATE

BY

SHEET NUMBER
C000

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS OF THE LOCAL JURISDICTION AND STATE DEPARTMENT OF TRANSPORTATION AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
3. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING AUTHORITIES.
4. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
5. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIACSE 3802, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE FHA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
15. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
16. CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.

THIRD PARTY SUPPLEMENTAL INFORMATION

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.

- 1. CONSTRUCTION TESTING
TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
• DENSITY TEST REPORTS
• BACTERIOLOGICAL TESTS OF WATER SYSTEM
• PRESSURE TEST OF WATER/SEWER
• LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
• ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.
6. BMP'S SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5-INCH OR GREATER RAINFALL EVENT.
7. EROSION & SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
7.1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
7.2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED. SEEDED AREAS SHOULD BE FERTILIZED, WATERED AND RE-SEEDED AS NEEDED. REFER TO THE LANDSCAPE PLAN AND PROJECT SPECIFICATIONS.
7.3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
7.4. THE ROCK CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC ADDITIONS OF ROCK TOP DRESSING AS CONDITIONS DEMAND.
7.5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC ADDITIONS OF TOP DRESSING IF THE TEMPORARY PARKING CONDITIONS DEMAND.
7.6. PERFORM ALL MAINTENANCE OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

PAVING AND STRIPING NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CITY OR COUNTY SPECIFICATIONS AND STANDARDS, OR THE STATE DOT SPECIFICATIONS AND STANDARDS IF NOT COVERED BY LOCAL CITY OR COUNTY REGULATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO STATE DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL GROWTH IS ESTABLISHED TO MINIMUM COVERAGE OF 70% IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND STATE DOT SPECIFICATIONS.
17. PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC GEOTECHNICAL EVALUATION REPORT AND CITY & STATE DOT SPECIFICATIONS.
18. SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
22. BLEND NEW EARTH/WORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

WATER STORM SEWER & SANITARY SEWER NOTES

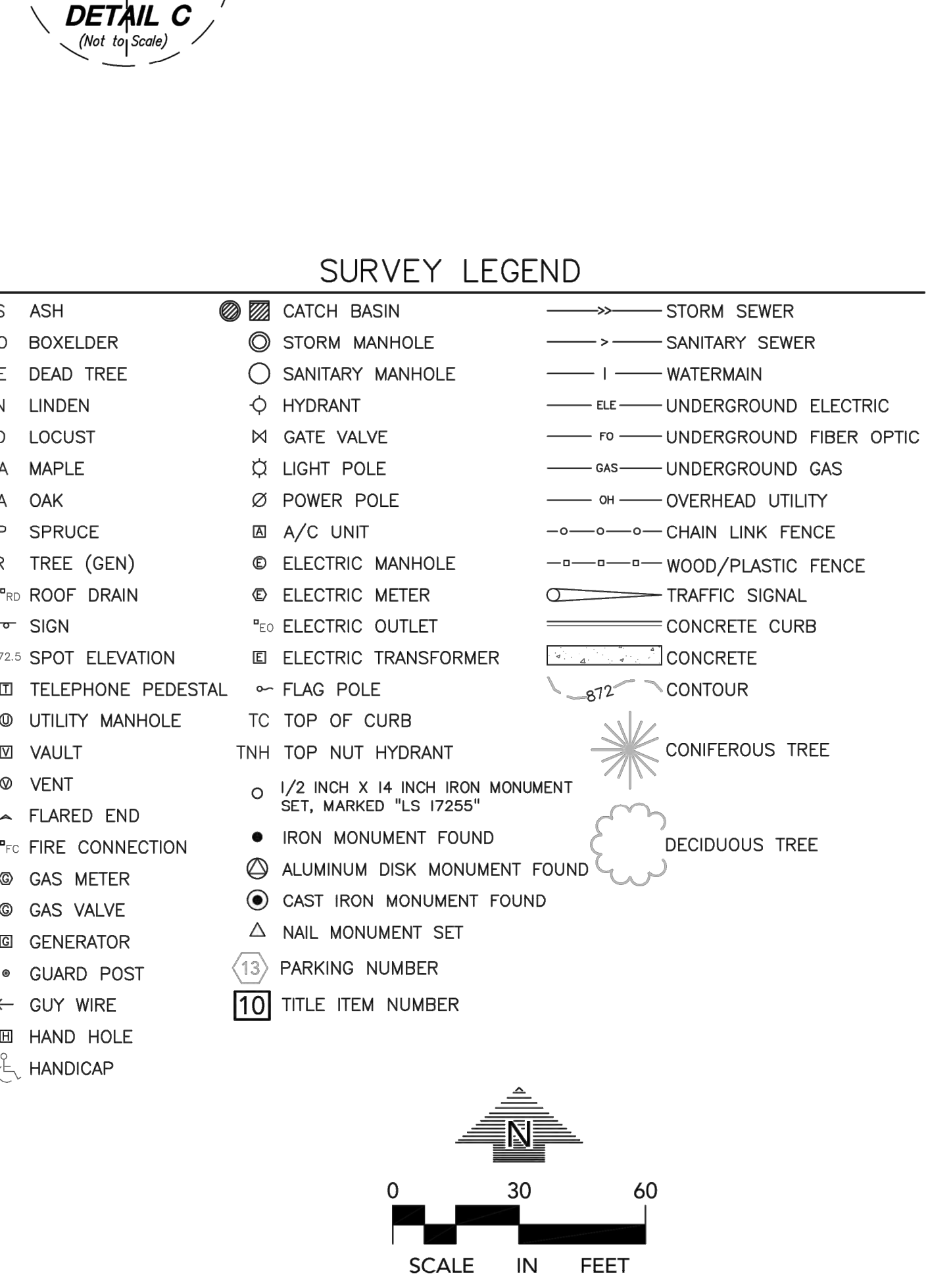
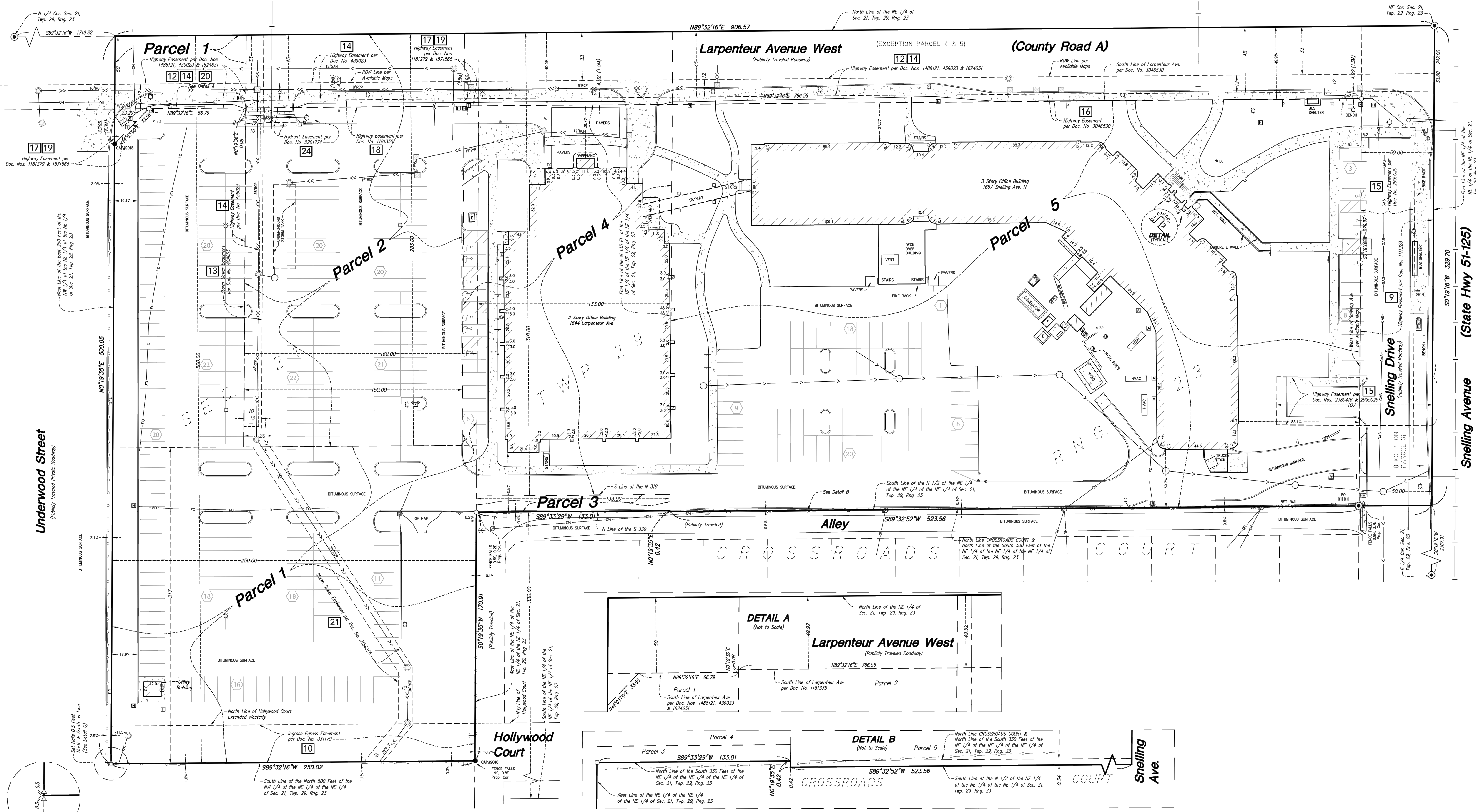
- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND UTILITY LINES SHALL BE SURVEYED BY A STATE LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
10. BETWEEN WATER AND SEWER MANHOLES AND PIPES, CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10-FEET AND A MINIMUM VERTICAL SEPARATION OF 18-INCHES.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GASKETED AND/OR GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.
13. UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.
14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 2.0% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.
18. PROVIDE INSULATION OF UNDERGROUND ROOF DRAINS AND SANITARY SEWER SERVICES IF ADEQUATE FROST DEPTH CANNOT BE PROVIDED.
19. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
20. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
21. A MINIMUM SEPARATION OF 5-FEET IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
22. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
23. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
24. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
25. REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, MATERIALS SPECIFICATIONS.
26. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
27. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR FOOTING AND FOUNDATION PAD PREPARATION SPECIFICATIONS.
28. CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR ROUTING OF PROPOSED ELECTRICAL & COMMUNICATIONS SERVICES AND SITE LIGHTING LAYOUT.

PRELIMINARY - NOT FOR CONSTRUCTION

Complex block containing project information, logos for Kimley-Horn and KIMLEY-HORN ASSOCIATES, INC., and a table for REVISIONS with columns for No., DATE, and BY.

CARBON CABIN - FALCON HEIGHTS PREPARED FOR BUHL INVESTORS FALCON HEIGHTS

SHEET NUMBER C100



DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

Parcel 1:
The East 250 feet of the North 500 feet except the West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23.

Parcel 2:
The West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23, West of the Fourth Principal Meridian.

Parcel 3:
That part of the West 133.00 feet of the Northeast quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23, which lies South of the North 318.00 feet thereof and which lies North of the South 330.00 feet.

Parcel 4:
The Westerly 133 feet of the Northerly 318 feet excepting therefrom that part taken for Larpeur Avenue of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter, Section 21, Township 29, Range 23, Ramsey County, Minnesota.

Parcel 5:
The North Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter, except the West 133 feet thereof, in Section 21, Township 29, Range 23, Ramsey County, Minnesota, except that part taken for Snelling and Larpeur Avenues.

TITLE COMMITMENT EXCEPTIONS
(Per Schedule B, Part II of the herein referenced Title Commitment)

The property depicted on this survey and the easements of record shown hereon are the same as the property and the easements described in the Commitment for Title Insurance issued by First American Title Insurance Company, File No. NCS-904443-MPLS, effective date May 04, 2018. The numbers below correspond to those in the title commitment.

1-8, 11, 22, 23 & 25 do not require comment.

9. Easement for highway purposes in favor of the State of Minnesota as contained in Final Certificate dated January 15, 1945, recorded June 3, 1945 in the office of the County Recorder in Book 1177, Page 269 as Document No. 1073330; Amended Final Certificate recorded May 20, 1946 in Book 1208, Page 23 as Document No. 1111223. (As to Parcel 5)

10. Easement for ingress and egress purposes in favor of the Regents of the University of Minnesota as reserved Warranty Deed dated April 5, 1954, recorded April 12, 1954 in the office of the Registrar of Titles as Document No. 331179 and appearing in documents of record. (As to Parcel 1)

12. Easements for highway and sewer purposes, together with any incidental rights, in favor of the County of Ramsey as contained in Highway Easement and Easement dated June 8, 1959, recorded July 9, 1959 in the office of the County Recorder in Book 1636, Page 806 as Document No. 1488121. (As to Parcels 4 and 5)

13. Easement for storm sewer purposes and incidental rights in favor of the County of Ramsey as contained in Easement dated July 23, 1953, recorded October 16, 1959 in the office of the Registrar of Titles as Document No. 409653. (As to Parcel 2)

14. Easement for highway purposes in favor of the County of Ramsey as contained in Final Certificate dated June 14, 1961, recorded January 26, 1962 in the office of the County Recorder in Book 1775, Page 591 as Document No. 1555737 and in the office of the Registrar of Titles as Document No. 439023. (As to Parcels 1, 2, 4 and 5)

15. Easement for highway purposes and incidental rights in favor of the State of Minnesota as contained in Highway Easement dated March 16, 1987, recorded May 15, 1987 in the office of the County Recorder as Document No. 2380416; and subject to access restrictions as contained in Quit Claim Deed from the State of Minnesota to the City of Falcon Heights dated May 14, 1997, recorded June 4, 1997 in the office of the County Recorder as Document No. 2995025. (As to Parcels 4 and 5)

16. Terms, conditions and easement for highway purposes and incidental rights in favor of the County of Ramsey as contained in Highway Easement dated January 12, 1998, recorded March 19, 1998 in the office of the County Recorder as Document No. 3046530. (As to Parcels 4 and 5)

17. Easement for highway purposes and incidental rights in favor of the County of Ramsey as contained in Highway Easement dated January 12, 1998, recorded March 23, 1998 in the office of the Registrar of Titles as Document No. 1181279. (As to Parcel 1)

18. Easement for highway purposes and incidental rights in favor of the County of Ramsey as contained in Highway Easement dated January 12, 1998, recorded March 23, 1998 in the office of the Registrar of Titles as Document No. 1181335. (As to Parcel 2)

19. Easement for highway purposes and incidental rights in favor of the County of Ramsey as contained in Highway Easement dated August 25, 1999, recorded August 25, 1999 in the office of the Registrar of Titles as Document No. 1571565. (As to Parcel 1)

20. Easements for highway and sewer purposes, together with any incidental rights, in favor of the County of Ramsey as contained in Highway Easement and Easement dated June 8, 1959, recorded January 26, 2001 in the office of the Registrar of Titles as Document No. 1624631. (As to Parcels 1 and 2)

21. Terms, conditions and easement for storm sewer purposes in favor of the City of Falcon Heights as contained in Storm Sewer Easement Agreement dated September 12, 2012, recorded September 25, 2012 in the office of the Registrar of Titles as Document No. 2186355. (As to Parcel 1)

22. Terms, conditions and easement for fire hydrant purposes in favor of the Board of Water Commissioners of the City of St. Paul as contained in Fire Hydrant Easement Agreement dated October 19, 2012, recorded February 19, 2013 in the office of the Registrar of Titles as Document No. 2201774. (As to Parcel 2)

ALTA/NSPS OPTIONAL TABLE A NOTES
(The following items refer to Table A optional survey responsibilities and specifications)

1. Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.

2. The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 1667 Snelling Avenue North, Falcon Heights, MN 55108.

3. This property is contained in Flood Insurance Rate Map, Community Panel No. 2712300085G, and is a non-printed panel (no special flood hazard areas).

4. The Gross land area is 341,365 +/- square feet or 7.84 +/- acres.
The Highway ROW/ easement land area is 61,411 +/- square feet or 1.41 +/- acres.
The Net land area is 279,954 +/- square feet or 6.43 +/- acres.

6. (a) Zoning information was not provided by the client.

7. (a) Exterior dimensions of all buildings are shown at ground level.

8. Substantial features observed in the process of conducting fieldwork, are shown hereon.

9. Stripping of clearly identifiable parking spaces on surface parking areas and lots are shown hereon. The number and type of clearly identifiable parking stalls on this site are as follows: 303 Regular + 11 Disabled = 314 Total Parking Stalls.

11. We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 181450690 & 181450732. The following utilities and municipalities were notified:

ARVIG	(218)346-5500	CITY OF FALCON HEIGHTS	(651)792-7400
COMCAST	(800)762-0592	CENTURYLINK	(800)283-4237
METRO TRANSIT	(612)349-7547	MINNESOTA STATE FAIR	(320)963-2400
MINDOT	(651)366-5750	MP NEXLEVEL	(320)963-2400
ST PAUL REGIONAL WATER	(651)266-6868	ST PAUL SEWER	(651)266-9850
ST PAUL TRAFFIC AND LIGHTING	(651)266-9777	ST PAUL PARKS	(651)632-5129
UNIVERSITY OF MINNESOTA	(612)625-6537	XCEL ENERGY	(651)229-2552
ZAYO BANDWIDTH	(888)267-1063		

i. Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. These utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.

ii. The locations of underground utility lines shown hereon is an approximation based on available maps, unless otherwise noted on the survey.

iii. Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.

SURVEY REPORT

1. The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey.

2. The bearings for this survey are based on the Ramsey County Coordinate System NAD 83 (1986 Adjust).

3. Site Benchmark: Top nut of fire hydrant near the NE corner of the site.
Elevation = 959.18 (NGVD 29)

4. Trees shown hereon are 8 inch diameter at breast height or greater. Other trees less than 8 inches may be on site but are not shown hereon.

5. The Surveyor was not provided documents for fee takers of Larpeur Avenue West or Snelling Avenue. Available maps show 33 feet Right of Way lines along Larpeur Avenue West and 50 feet along Snelling Avenue adjacent to subject property indicating possible prescriptive rights, several highway easement documents have been provided and shown hereon.

CERTIFICATION

To Technology and Information Educational Services, a Minnesota joint powers organization and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 4, 6(a), 7(a), 8, 9 and 11 of Table A thereof. The field work was completed on June 22, 2018.

Date of Plat or Map: June 29, 2018

Amy D. Nelson
Henry D. Nelson, PLS Minnesota License No. 17255
hnelson@loucksinc.com

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Amy D. Nelson
License No. 17255
Date 06/29/18

QUALITY CONTROL

Loucks Project No. 11273B
Project Lead HDN
Drawn By SFH
Checked By HDN
Field Crew BRS, BEP

VICINITY MAP

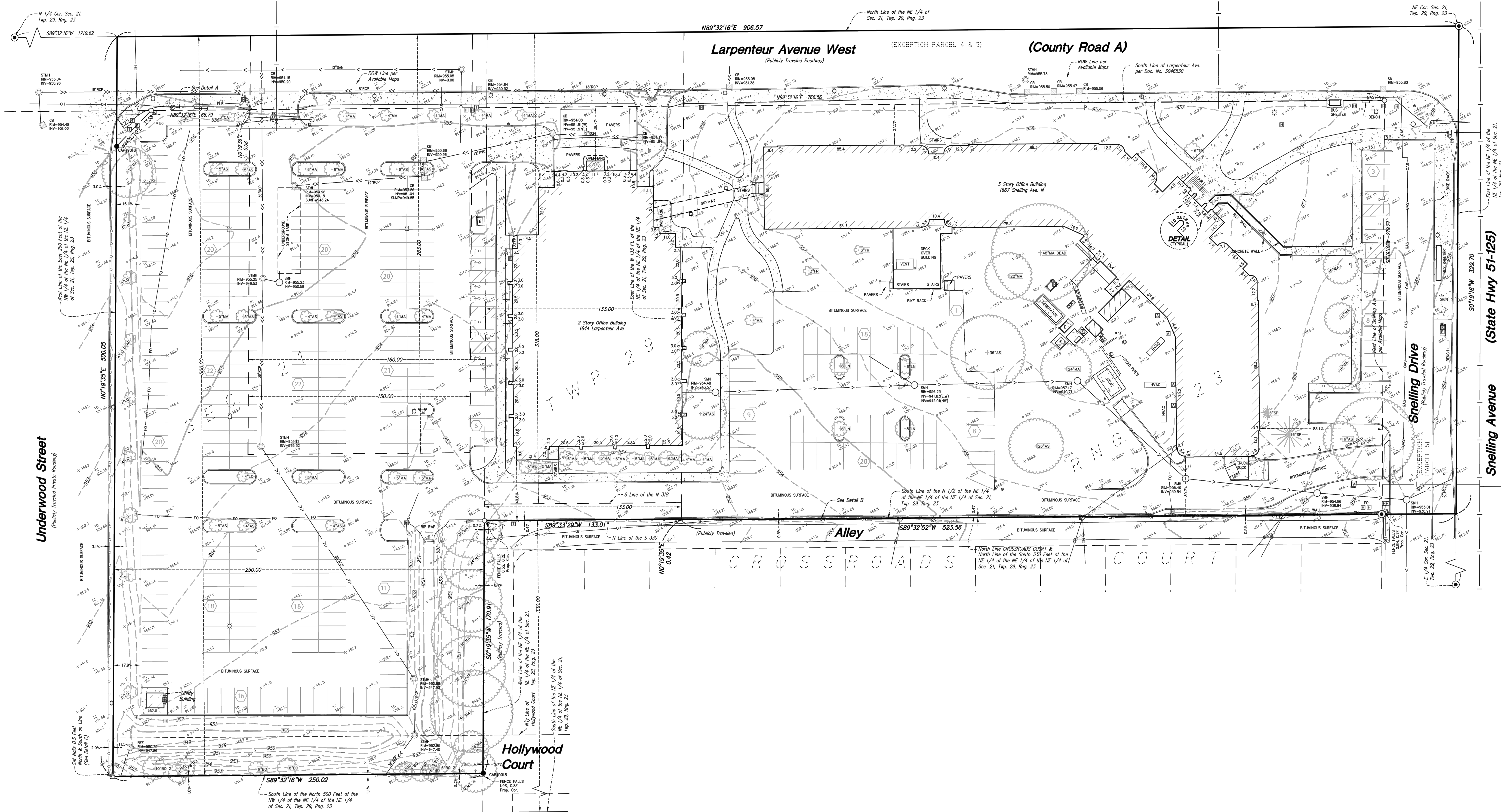
ALTA/NSPS LAND TITLE SURVEY

1 OF 2

TIES EDUCATION CENTER
1647 SNELLING AVENUE N.
FALCON HEIGHTS, MN 55108

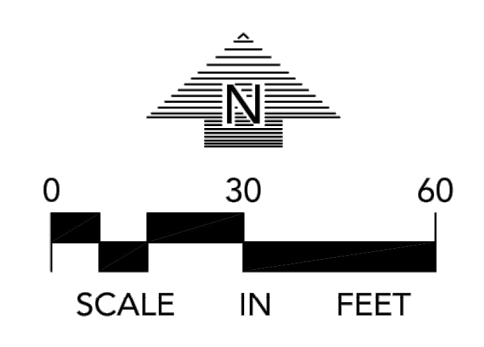
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LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com



SURVEY LEGEND

AS ASH	☐ CATCH BASIN	— S STORM SEWER
BO BOXELDER	⊙ STORM MANHOLE	— S SANITARY SEWER
DE DEAD TREE	○ SANITARY MANHOLE	— WATERMAIN
LN LINDEN	⊙ HYDRANT	— ELE UNDERGROUND ELECTRIC
LO LOCUST	⊗ GATE VALVE	— FO UNDERGROUND FIBER OPTIC
MA MAPLE	⊙ LIGHT POLE	— GAS UNDERGROUND GAS
QA OAK	⊙ POWER POLE	— OH OVERHEAD UTILITY
SP SPRUCE	⊙ A/C UNIT	— CHAIN LINK FENCE
TR TREE (GEN)	⊙ ELECTRIC MANHOLE	— WOOD/PLASTIC FENCE
RD ROOF DRAIN	⊙ ELECTRIC METER	— TRAFFIC SIGNAL
— SIGN	⊙ ELECTRIC OUTLET	— CONCRETE CURB
72.5 SPOT ELEVATION	⊙ ELECTRIC TRANSFORMER	— CONCRETE
☐ TELEPHONE PEDESTAL	— FLAG POLE	— 612 CONTOUR
⊙ UTILITY MANHOLE	○ 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "LS 17255"	☀ CONIFEROUS TREE
⊙ VAULT	● IRON MONUMENT FOUND	☀ DECIDUOUS TREE
⊙ VENT	⊙ ALUMINUM DISK MONUMENT FOUND	
▲ FLARED END	⊙ CAST IRON MONUMENT FOUND	
⊙ FIRE CONNECTION	⊙ CHISELED "X"	
⊙ GAS METER	▲ NAIL MONUMENT SET	
⊙ GAS VALVE	13 PARKING NUMBER	
⊙ GENERATOR	10 TITLE ITEM NUMBER	
— GUARD POST		
— GUY WIRE		
— HAND HOLE		
— HANDICAP		



SURVEY REPORT

- Note: The purpose of this sheet is to show existing trees, contours and spot elevations.
- Site Benchmark: Top nut of fire hydrant near the NE corner of the site. Elevation = 959.18 (NGVD 29)
- Trees shown hereon are 8 inch diameter at breast height or greater. Other trees less than 8 inches may be on site but are not shown hereon.

TIES EDUCATION CENTER
1647 SNELLING AVENUE N, FALCON HEIGHTS, MN 55108

TIES
1647 SNELLING AVENUE N, FALCON HEIGHTS, MN 55108

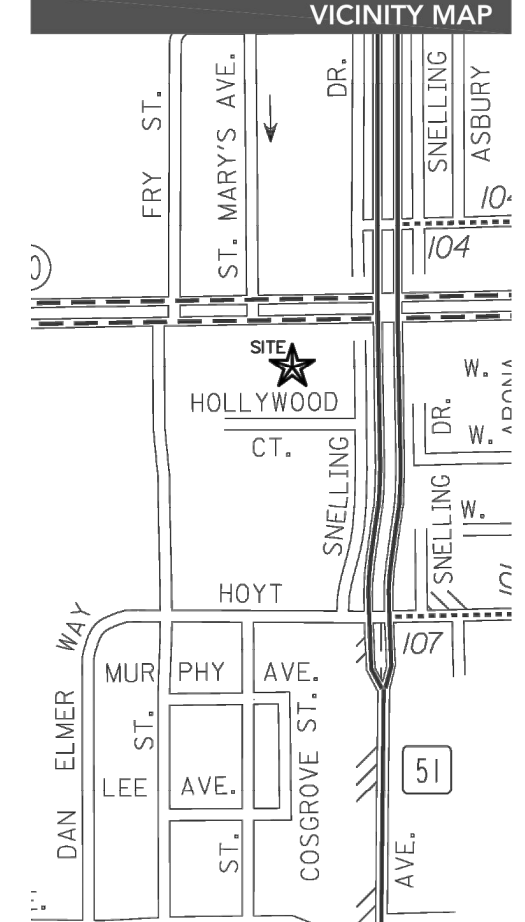
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7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.louckscinc.com

CADD QUALIFICATION
CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services to be used with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for reference and reference only. All intentional or unintentional errors, omissions or deviations in these CADD files shall be the responsibility of the party that created and transmitted the CADD files and the party shall hold harmless and indemnify the Consultant from any liability, claims, and damages.

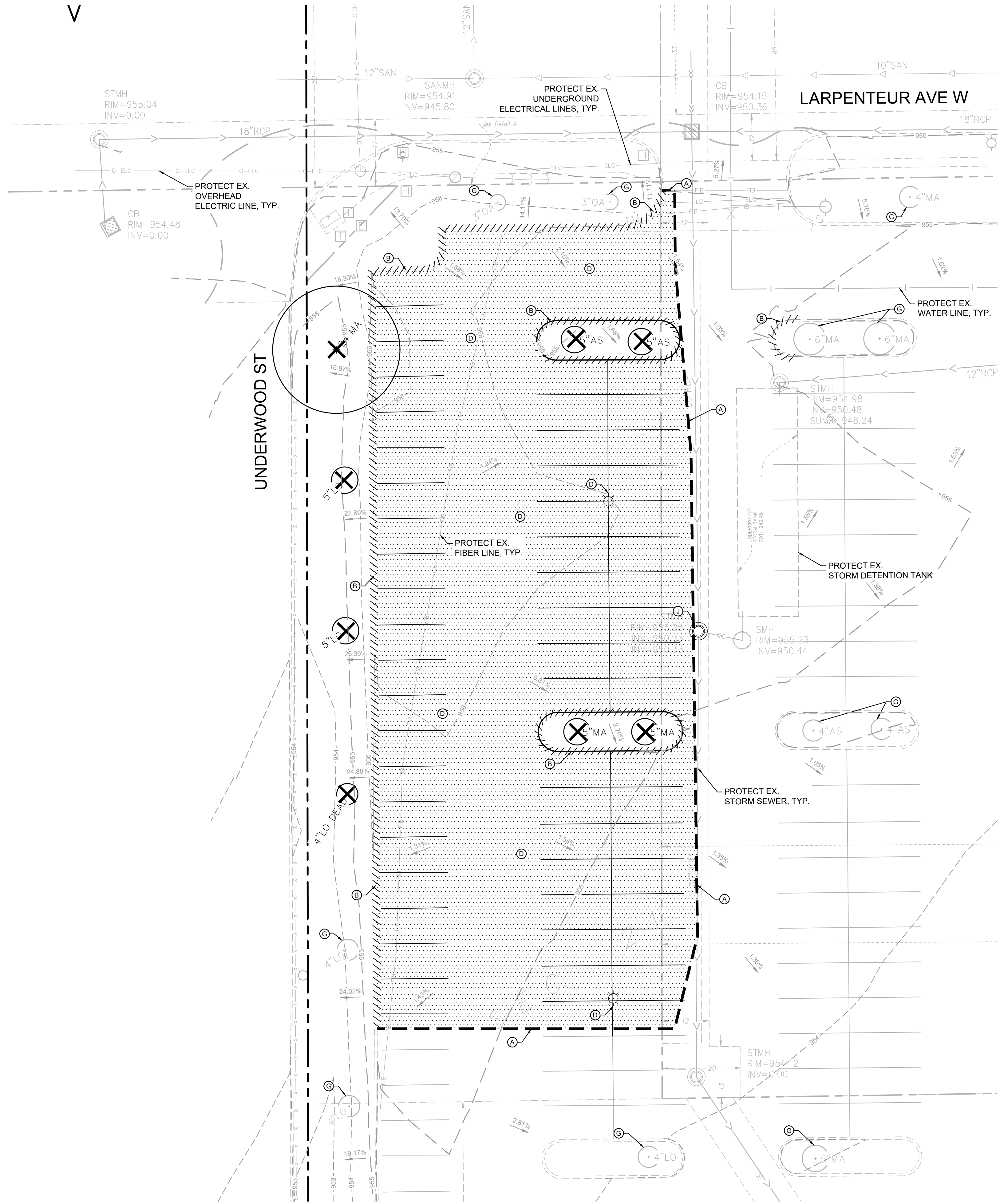
SUBMITTALS/REVISIONS
06/29/18 SURVEY ISSUED

PROFESSIONAL SIGNATURE
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Army D. Mason
License No. 17255
Date 06/29/18

QUALITY CONTROL
Loucks Project No. 11273B
Project Lead HDN
Drawn By SFH
Checked By HDN
Field Crew BRS, BEP



ALTA/NSPS LAND TITLE SURVEY



LEGEND

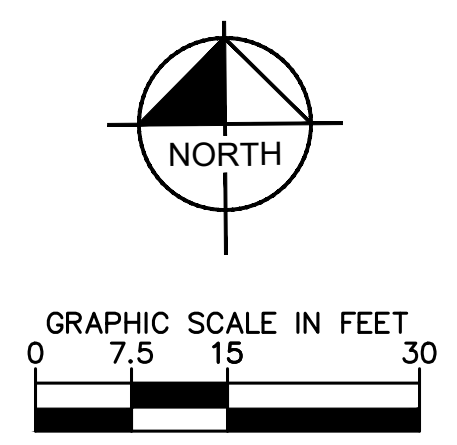
- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING J.BARRIER
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING AUTOMATIC SPRINKLER
- EXISTING ROOF DRAIN
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- EXISTING TREE LINE

DEMOLITION PLAN NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
3. THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
6. EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEDING WITH THE PROPOSED WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
14. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
15. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINTILE IS ENCOUNTERED ON SITE. ACTIVE DRAINTILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
16. IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING CURB
- (C) REMOVE EXISTING PAVEMENT
- (D) REMOVE EXISTING LIGHT POLE, MODIFY EXISTING CIRCUITRY TO ALLOW REMAINING LIGHT POLES TO FUNCTION
- (E) REMOVE EXISTING SEWER LINE / STRUCTURE
- (F) PROTECT EXISTING LIGHT POLE
- (G) PROTECT EXISTING TREE



PRELIMINARY - NOT FOR CONSTRUCTION

**CARIBOU CABIN -
FALCON HEIGHTS**
PREPARED FOR
BUHL INVESTORS
FALCON HEIGHTS MN

DEMOLITION PLAN

KHA PROJECT	12345678
DATE	03/06/2023
SCALE	AS SHOWN
DESIGNED BY	RAV
DRAWN BY	RAV
CHECKED BY	DLE

THIS PROJECT WAS PREPARED BY AN ENGINEER OR ARCHITECT IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MINNESOTA BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS. THE ENGINEER OR ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN UNDER THE LAWS OF THE STATE OF MINNESOTA.

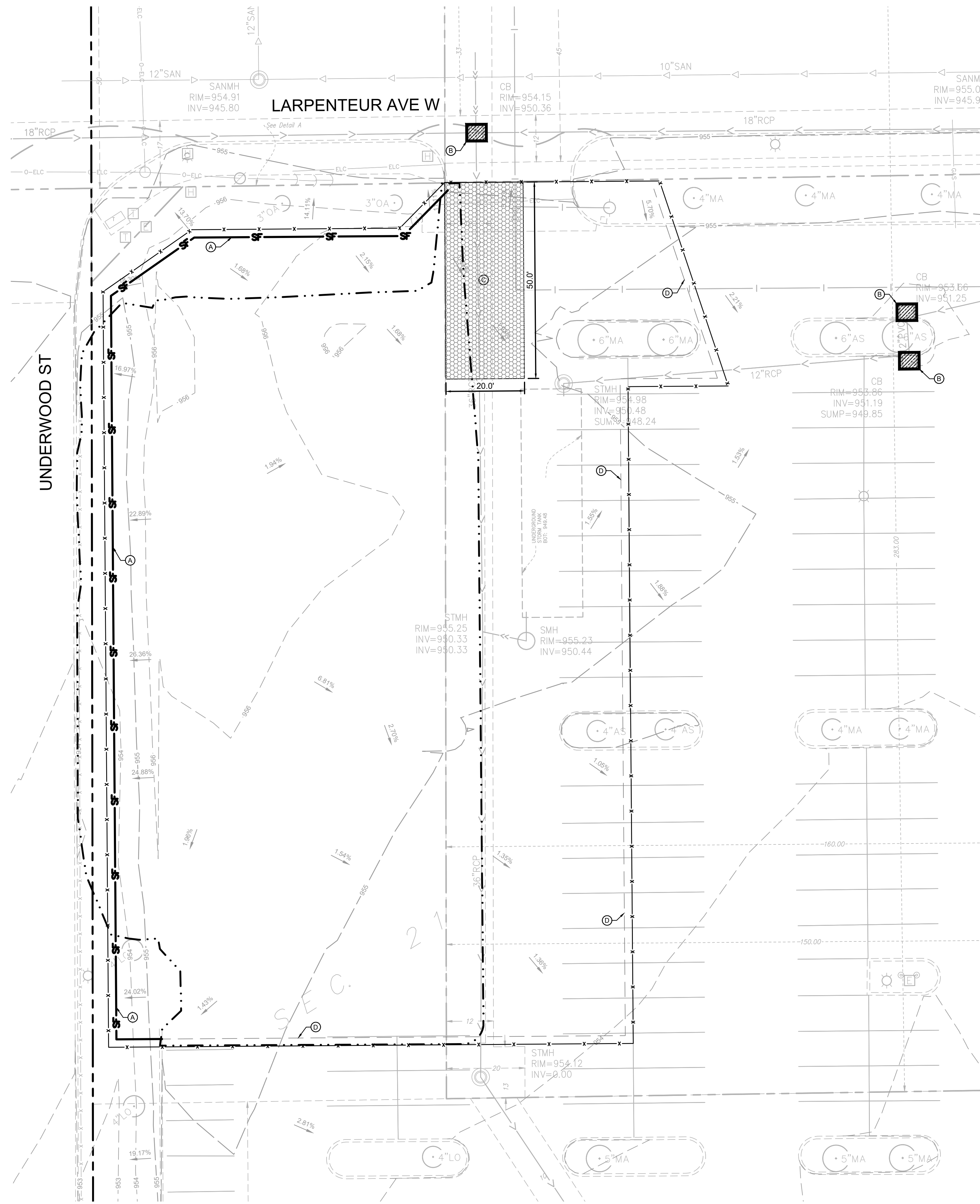
Dan Elenbass
DAN L. ELENBASS, PE
MIN. LIC. NO. 44817

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY



K:\TWC_LDEV\Buhl Investors\Caribou Cabin Falcon Heights\3 Design\CAD\PlanSheets\C3-EROS PH1 PLAN.dwg March 06, 2023 - 1:37pm
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



AREA SUMMARY	
TOTAL PROPERTY AREA	1.90 AC / 82,557 SF
EXISTING IMPERVIOUS AREA	1.17 AC / 50,690 SF
EXISTING PERVIOUS AREA	0.73 AC / 31,867 SF
PROPOSED IMPERVIOUS AREA	1.12 AC / 48,744 SF
PROPOSED PERVIOUS AREA	0.78 AC / 33,813 SF
TOTAL DISTURBED AREA	0.43 AC / 18,816 SF

PHASE 1 BMP QUANTITIES	
SILT FENCE	±300 LF
INLET PROTECTION	3 EA
ROCK CONSTRUCTION ENTRANCE	1 EA
BIO ROLL	360 LF

KEYNOTE LEGEND

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) BIO ROLL
- (E) EROSION CONTROL BLANKET

LEGEND

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- BIOROLL

EROSION CONTROL PLAN NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES FINISHED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE, DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
- EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

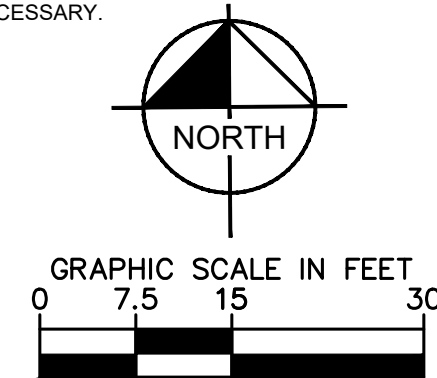
SWPPP UPDATES & AMENDMENTS

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

PHASE 1 SEQUENCE OF CONSTRUCTION

- INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT BASINS.
- CLEAR AND GRUB THE SITE.
- BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION, IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.



NO.	REVISIONS	DATE	BY

Kimley Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-454-4197
 WWW.KIMLEY-HORN.COM

THIS CERTIFICATE IS VALID AS AN INSTRUMENT OF SERVICE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Dan Elenbas
 DAN L. ELENBAS, PE
 MN LIC. NO. 44818
 DATE: 03/06/2023

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
12345678	03/06/2023	AS SHOWN	RAV	RAV	DLE

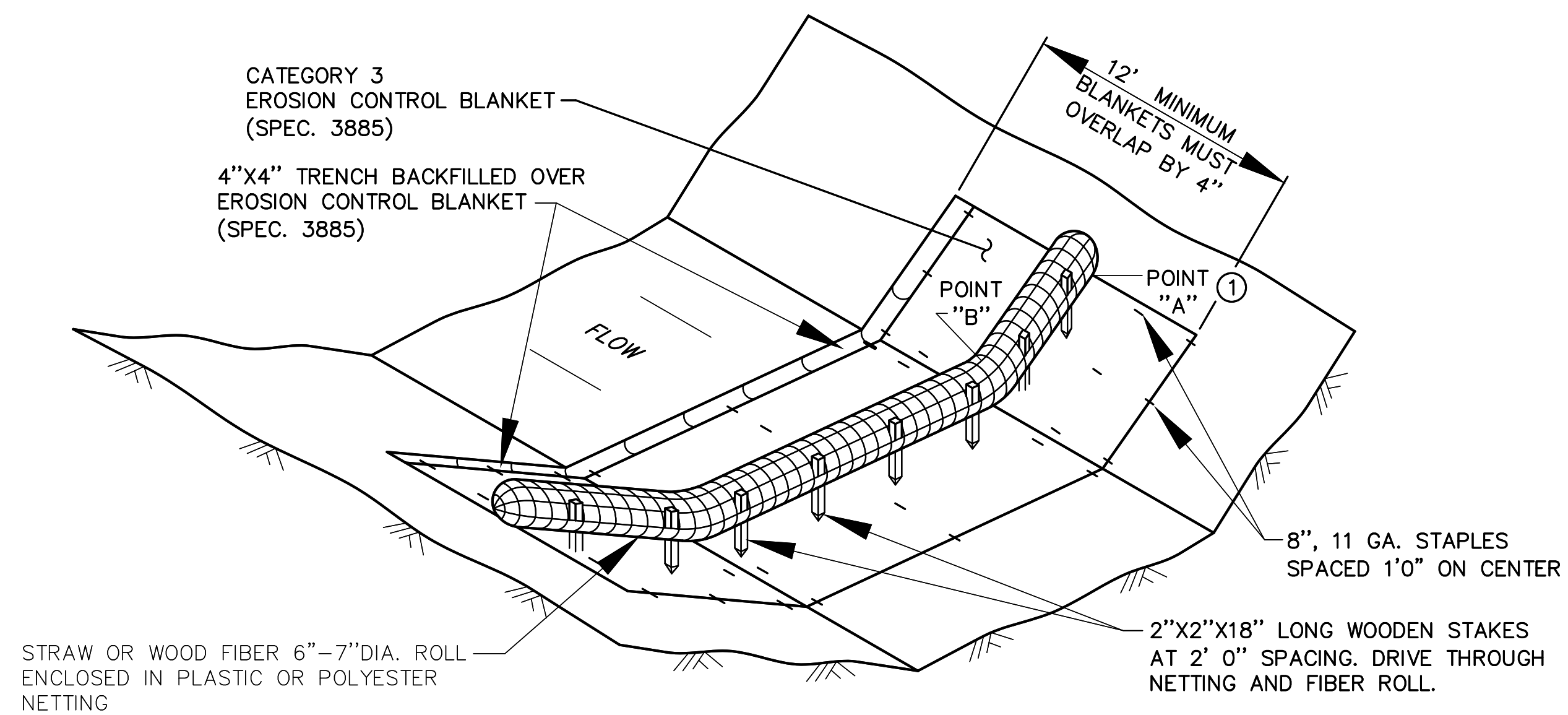
EROSION AND SEDIMENT CONTROL PLAN - PHASE 1

PRELIMINARY - NOT FOR CONSTRUCTION

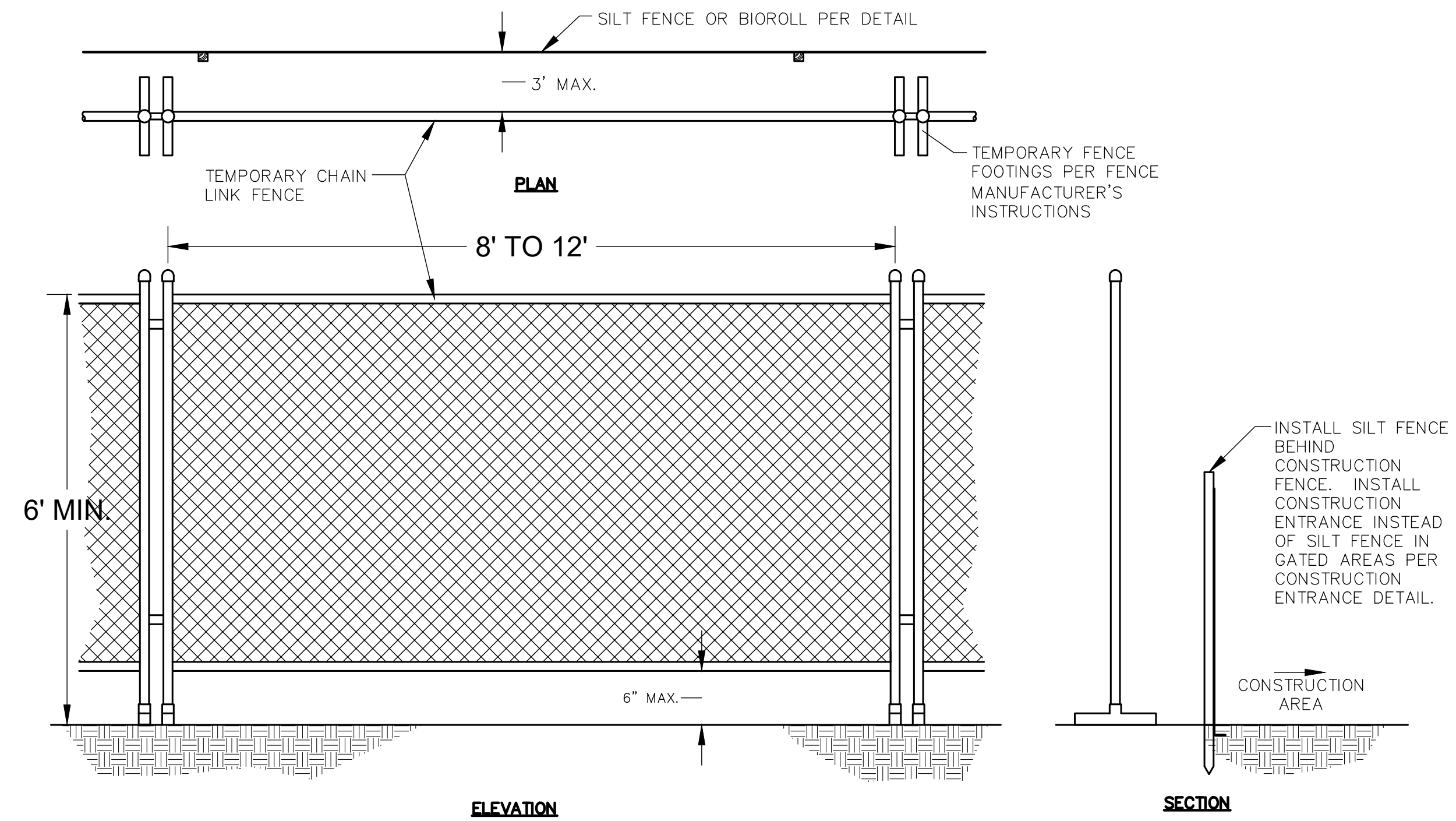
CARIBOU CABIN - FALCON HEIGHTS
 PREPARED FOR
 BUHL INVESTORS
 FALCON HEIGHTS MN

SHEET NUMBER
C300

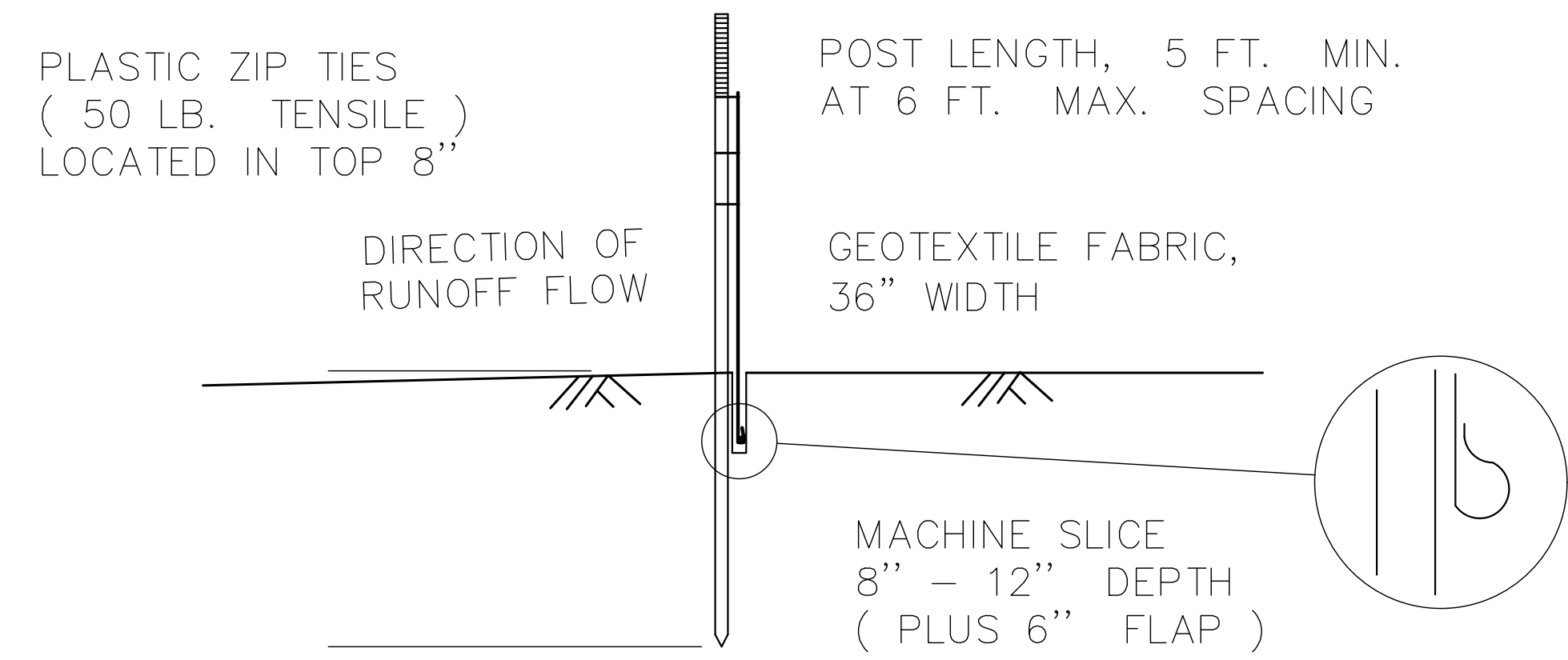
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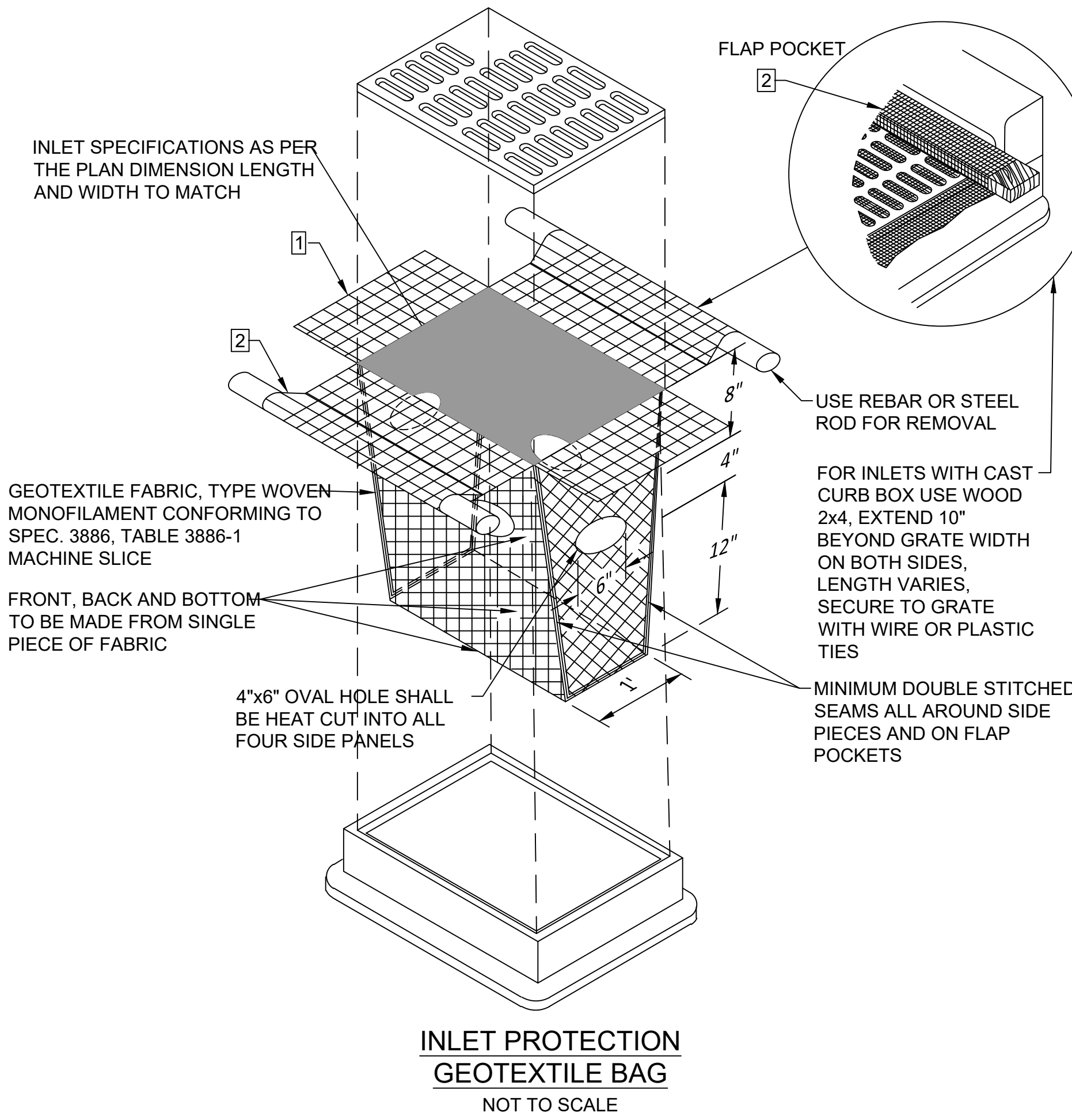
BIO-ROLL BLANKET SYSTEM
(TYPE 3 SPEC. 3889)



CONSTRUCTION FENCE



STANDARD MACHINE SLICED SILT FENCE DETAILS
TO PROTECT AREAS FROM SHEET FLOW
(SEE SPEC. 3886)

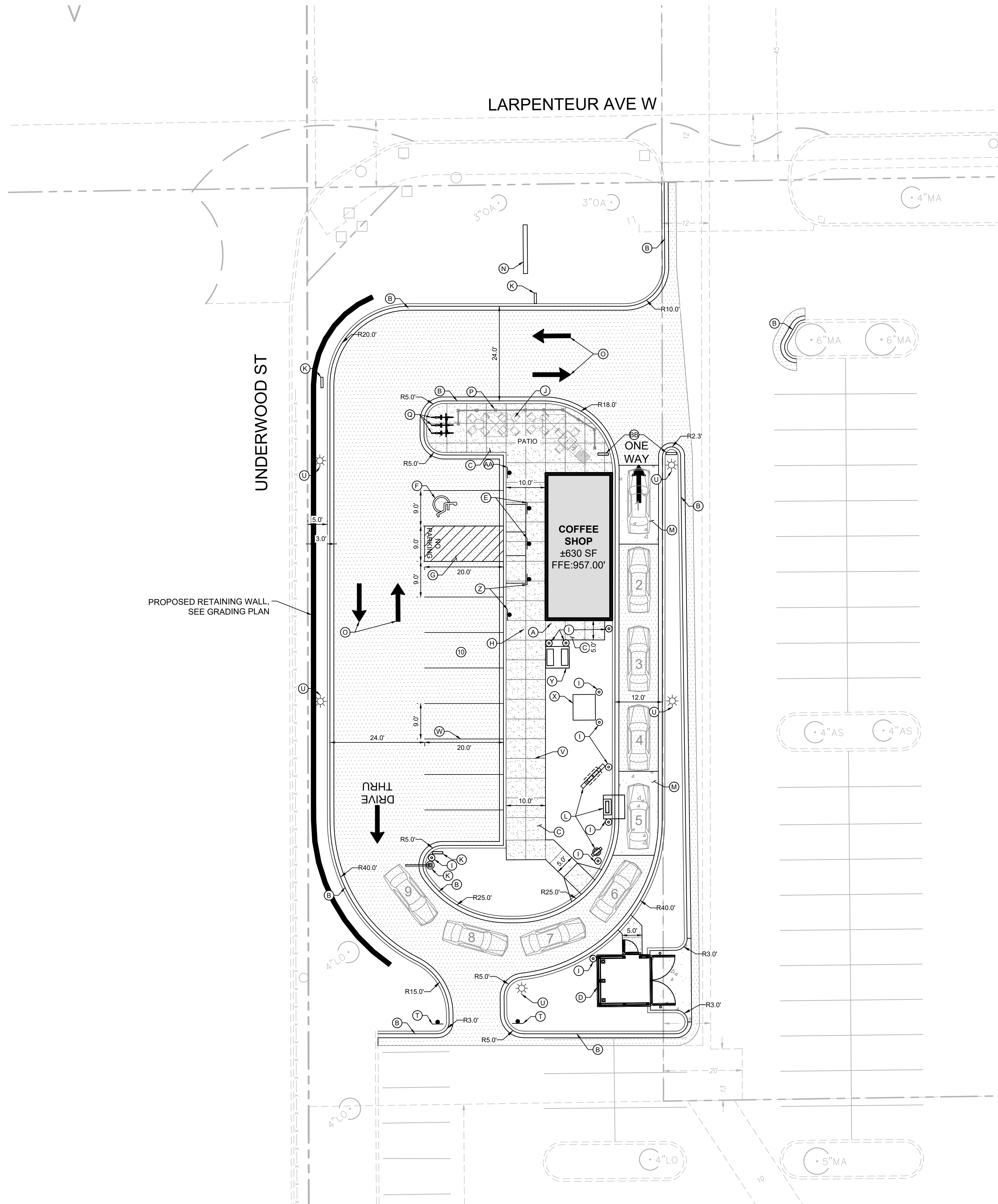


INLET PROTECTION GEOTEXTILE BAG
NOT TO SCALE

NOTES:
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL IN THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 FINISHED SIZE, INCLUDING POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.
INSTALLATION NOTES:
 DO NOT INSTALL PROTECTION IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CLINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

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KHA PROJECT 12345678 DATE 03/06/2023 SCALE AS SHOWN DESIGNED BY RAV DRAWN BY RAV CHECKED BY DLE		2022 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE 651-454-1197 WWW.KIMLEY-HORN.COM	REVISIONS	DATE	BY
			No.		
EROSION AND SEDIMENT CONTROL DETAILS			CARIBOU CABIN - FALCON HEIGHTS PREPARED FOR BUHL INVESTORS		
SHEET NUMBER C302			FALCON HEIGHTS MN		



SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY LOUCKS INC., DATED 06/22/2018.

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- TOTAL LAND AREA IS 1.78 ACRES.
- PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 19' IN LENGTH UNLESS OTHERWISE INDICATED.

LEGEND

- PROPERTY LINE
- PROPOSED FENCE
- SETBACK LINE
- PROPOSED CURB AND GUTTER
- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

KEYNOTE LEGEND

- (A) MATCH EXISTING EDGE OF PAVEMENT / CURB & GUTTER
- (B) B612 CURB AND GUTTER
- (C) CONCRETE SIDEWALK/PATIO/SLAB (SEE CIVIL DETAILS)
- (D) TRASH ENCLOSURE (SEE ARCHITECTURAL)
- (E) ACCESSIBLE PARKING SIGN WITH BOLLARD
- (F) ACCESSIBLE PARKING
- (G) AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
- (H) ACCESSIBLE CURB RAMP
- (I) BOLLARD (SEE ARCHITECTURAL)
- (J) PATIO FURNITURE (BY OTHERS)
- (K) INTERNALLY ILLUMINATED DIRECTIONAL SIGNAGE (BY OTHERS)
- (L) SPEAKER BOX, MENU BOARD, AND CLEARANCE ARM SIGN (SEE ARCHITECTURAL)
- (M) CONCRETE PAD WITH SENSOR LOOPS (SEE ARCHITECTURAL)
- (N) MONUMENT SIGN (SEE ARCHITECTURAL)
- (O) PAINTED MESSAGE, STOP BAR, AND DIRECTIONAL ARROWS
- (P) PATIO RAILING (SEE ARCHITECTURAL)
- (Q) BIKE RACK (SEE ARCHITECTURAL)
- (R) LANDSCAPE AREA, SEE LANDSCAPE PLAN
- (S) "STOP" SIGN AND POST
- (T) "DO NOT ENTER" SIGN
- (U) LIGHT POLE (SEE ELECTRICAL)
- (V) CONCRETE JOINT LINE
- (W) 4" WHITE PARKING STRIPING
- (X) TRANSFORMER AND TRANSFORMER PAD (COORDINATE WITH ELECTRICAL)
- (Y) MECHANICAL EQUIPMENT PAD (COORDINATE WITH ARCHITECTURAL/MECHANICAL)
- (Z) "ORDER AHEAD" PARKING STALL & SIGN POST (SEE ARCHITECTURAL)
- (AA) "WAIT" PARKING STALL & SIGN POST (SEE ARCHITECTURAL)
- (BB) ILLUMINATED SIGN "DO NOT ENTER" (NORTH FACE) AND "THANK YOU" (SOUTH FACE); SEE ARCHITECTURAL

PROPERTY SUMMARY

CARIBOU CABIN - FALCON HEIGHTS	
TOTAL PROPERTY AREA	82,557 SF (1.90 AC)
DISTURBED AREA	18,816 SF (0.43 AC)
EXISTING PERVIOUS AREA	31,867 SF (0.73 AC)
EXISTING IMPERVIOUS AREA	50,690 SF (1.17 AC)
PROPOSED PERVIOUS AREA	48,744 SF (1.12 AC)
PROPOSED IMPERVIOUS AREA	33,813 SF (0.78 AC)

ZONING SUMMARY

EXISTING ZONING	HIGH DENSITY RESIDENTIAL MIXED USE (R-5M)
PROPOSED ZONING	HIGH DENSITY RESIDENTIAL MIXED USE (R-5M)
PARKING SETBACKS	FRONT/SIDE/REAR = 10'
BUILDING SETBACKS	FRONT = 30' SIDE = 10' REAR = 30"

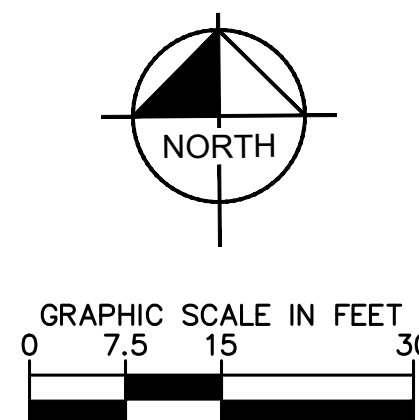
BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	77,536 SF (1.78 AC)
BUILDING AREA	630 SF (0.82% OF TOTAL PROPERTY AREA)

PARKING

REQUIRED PARKING	5 SPACES*
PROPOSED PARKING	7 SPACES
EXISTING SPACES REMOVED	58 SPACES
ADA STALLS REQ'D / PROVIDED	1 STALLS / 1 STALLS

* 1 SPACE FOR EVERY 150 SQUARE FEET OF GROSS FLOOR AREA.



PRELIMINARY - NOT FOR CONSTRUCTION

CARIBOU CABIN - FALCON HEIGHTS
PREPARED FOR
BUHL INVESTORS
FALCON HEIGHTS MN

SITE DIMENSION PLAN

KHA PROJECT	12345678
DATE	03/06/2023
SCALE	#####
DESIGNED BY	RAV
DRAWN BY	RAV
CHECKED BY	DLE

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DAN L. ELLENBASS, PE
MINN. LIC. NO. 44821

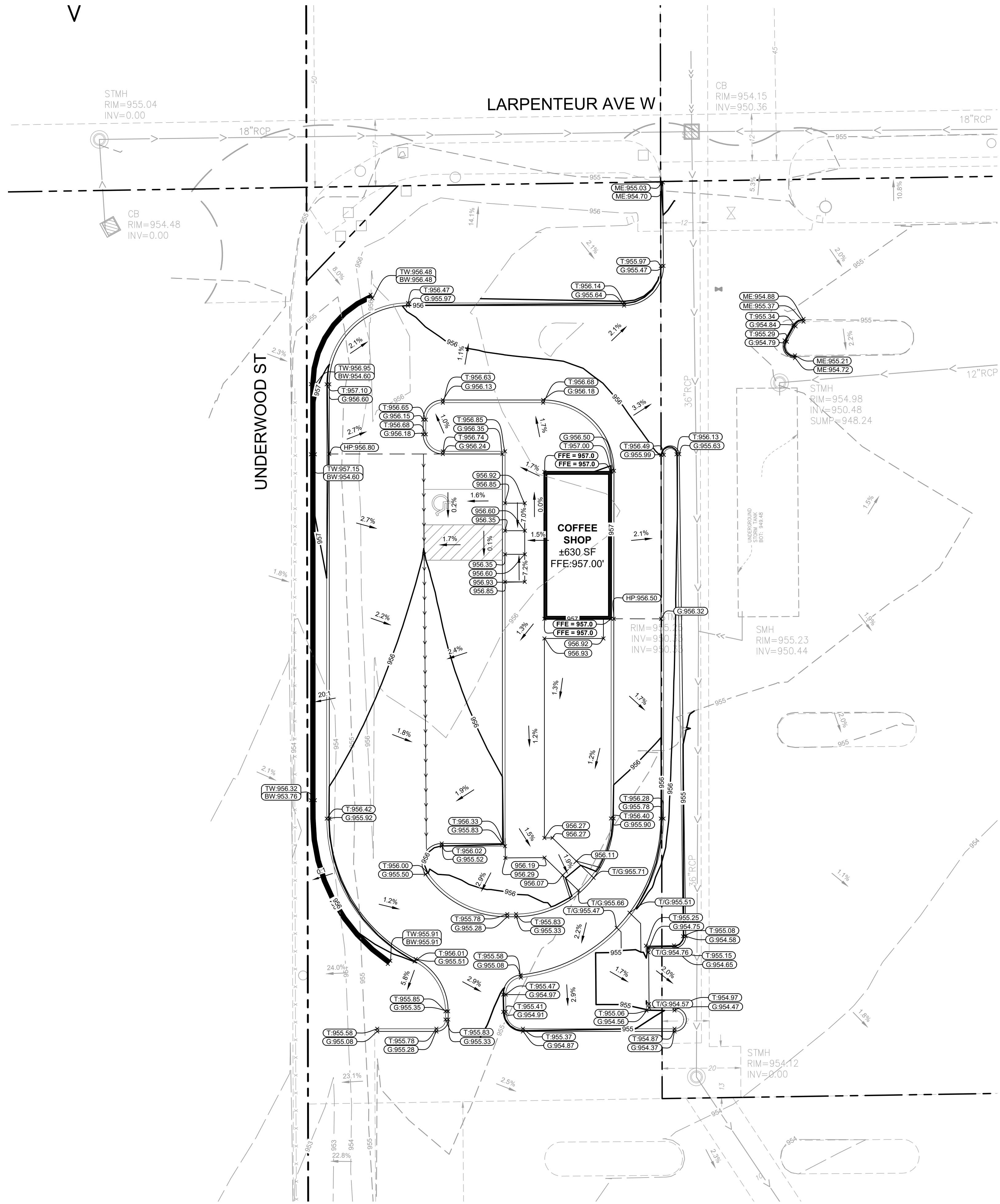
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No.	REVISIONS	DATE	BY

SHEET NUMBER
C400

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LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RIDGE LINE
- PROPOSED SWALE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVEFLOW ELEVATION
- PROPOSED TOP/BOTTOM OF WALL ELEVATION
- PROPOSED DRAINAGE DIRECTION

GRADING PLAN NOTES

1. PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
4. FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
5. IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
6. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
7. ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED
8. EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
9. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
10. MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
11. INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.
12. GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:

ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.
ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.

SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGE ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
13. UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
14. EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.

PRELIMINARY - NOT FOR CONSTRUCTION

CARIBOU CABIN -
FALCON HEIGHTS
PREPARED FOR
BUHL INVESTORS

GRADING AND DRAINAGE PLAN

KHA PROJECT
12345678
DATE
03/06/2023
SCALE AS SHOWN
DESIGNED BY RAV
DRAWN BY RAV
CHECKED BY DLE

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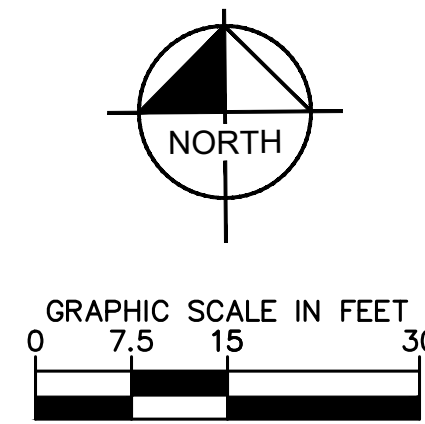
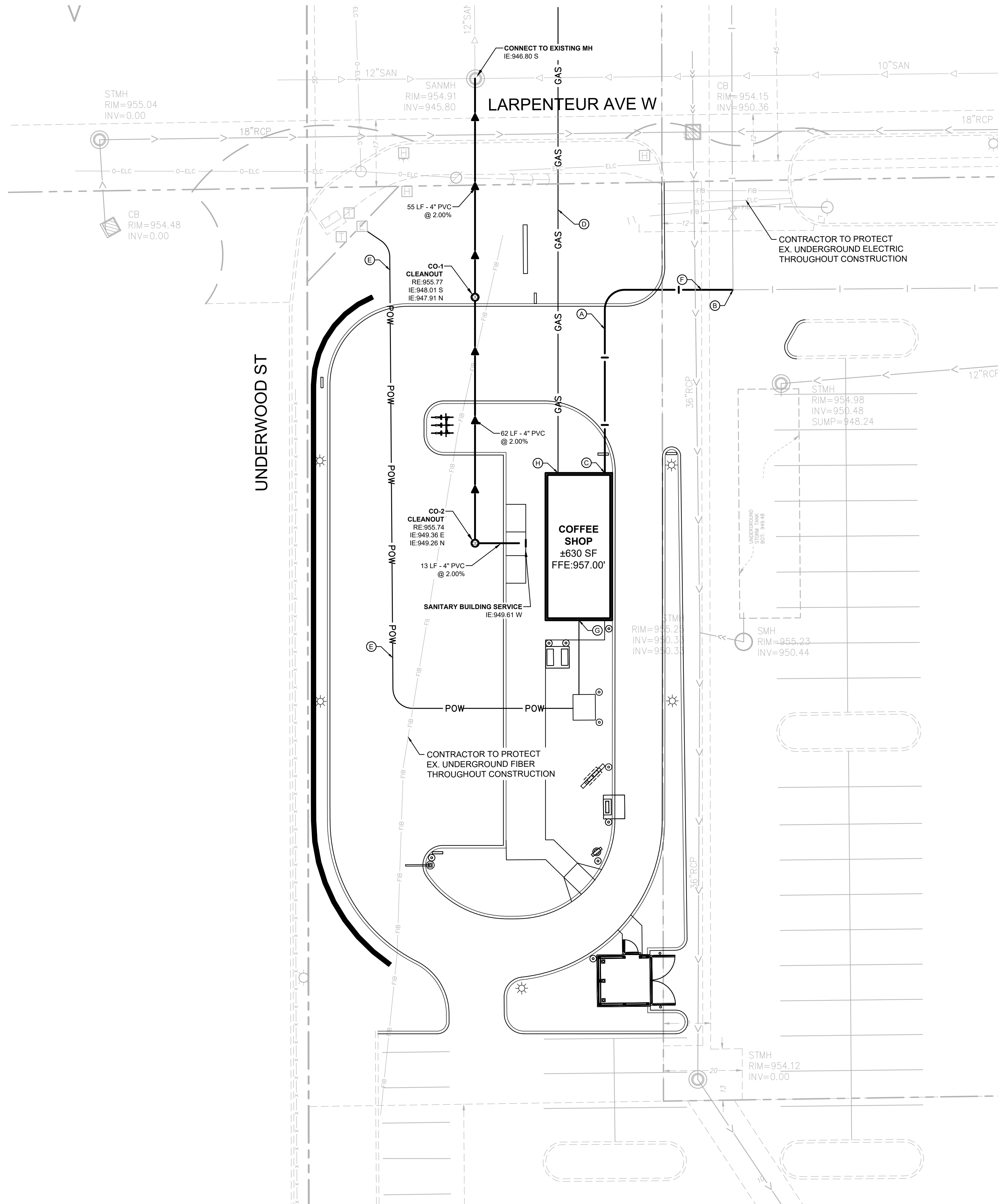
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Call before you dig.

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FALCON HEIGHTS MN



LEGEND

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN

UTILITY PLAN NOTES

- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
8" PVC SDR26 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40 PER ASTM D-1785
DUCTILE IRON PIPE PER AWWA C150
- WATER LINES SHALL BE AS FOLLOWS:
6" AND LARGER, PVC C-900 PER ASTM D 2241
CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
SMALLER THAN 3" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI 816.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
- WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
- FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
- MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
- IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
- REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.

KEYNOTE LEGEND

- (A) 1.5" COPPER DOMESTIC WATER
- (B) TAP INTO EXISTING DOMESTIC WATER LINE
- (C) 1.5" DOMESTIC WATER BUILDING SERVICE (COORDINATE WITH MEP)
- (D) COORDINATE WITH LOCAL GAS COMPANY FOR LOCATION AND CONNECTION OF PROPOSED 1-1/4" NATURAL GAS LINE
- (E) COORDINATE WITH LOCAL ELECTRIC COMPANY FOR LOCATION AND CONNECTION OF PROPOSED ELECTRIC SERVICE
- (F) DIP WATER LINE UNDER STORM, MAINTAIN 18" VERTICAL SEPERATION
- (G) ELECTRICAL BUILDING SERVICE (COORDINATE WITH MEP)
- (H) GAS BUILDING SERVICE (COORDINATE WITH MEP)
- (I) EXISTING GATE VALVE, TO REMAIN



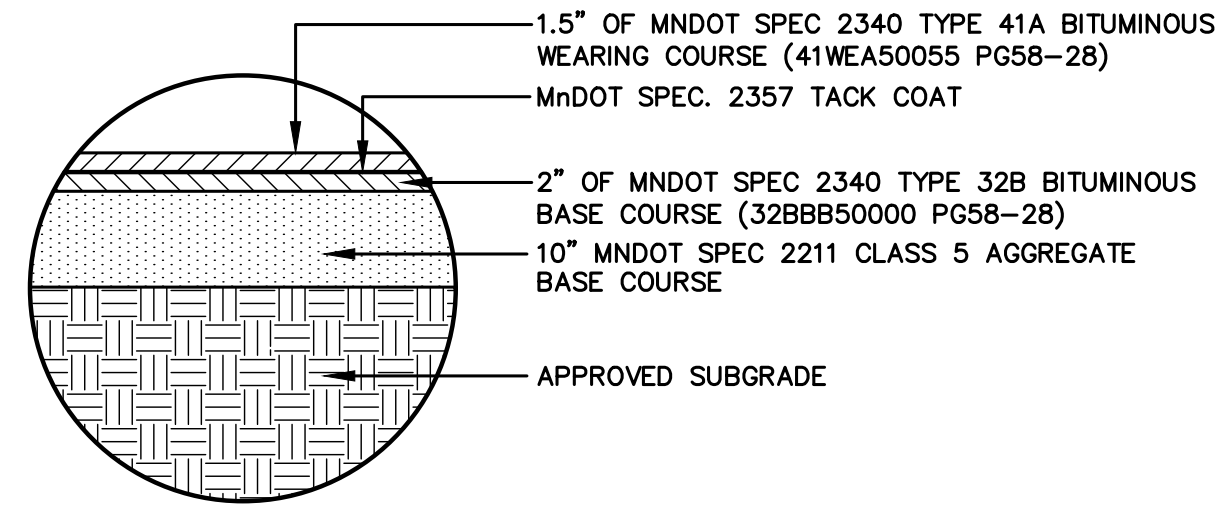
PRELIMINARY - NOT FOR CONSTRUCTION

**CARIBOU CABIN -
FALCON HEIGHTS**
PREPARED FOR
BUHL INVESTORS
FALCON HEIGHTS

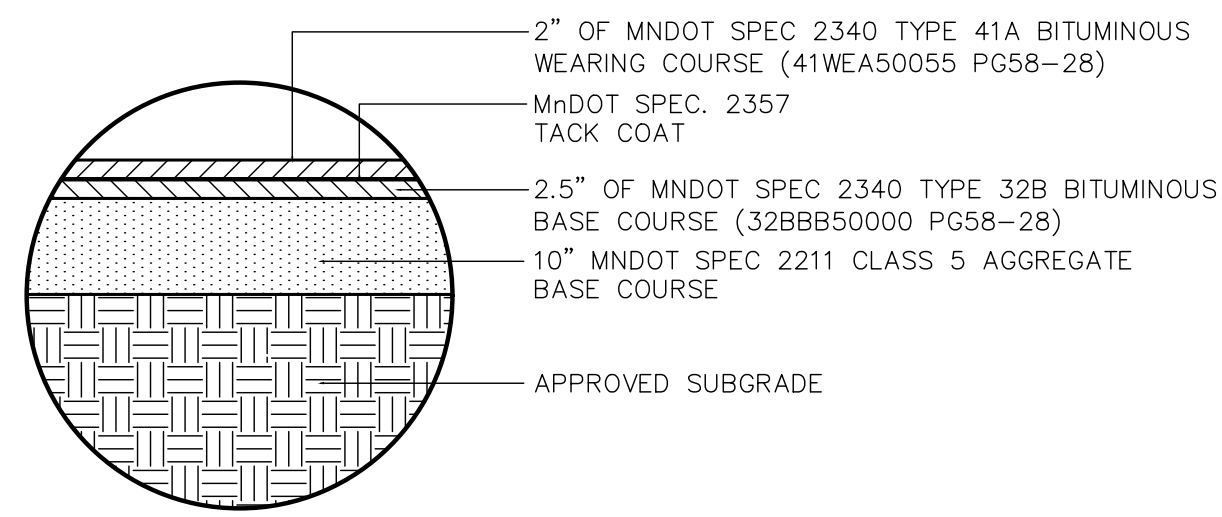
Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-1197
WWW.KIMLEY-HORN.COM

KHA PROJECT 12345678	DATE 03/06/2023	SCALE AS SHOWN	DESIGNED BY RAV	DRAWN BY RAV	CHECKED BY DLE
UTILITY PLAN					
SHEET NUMBER C600					

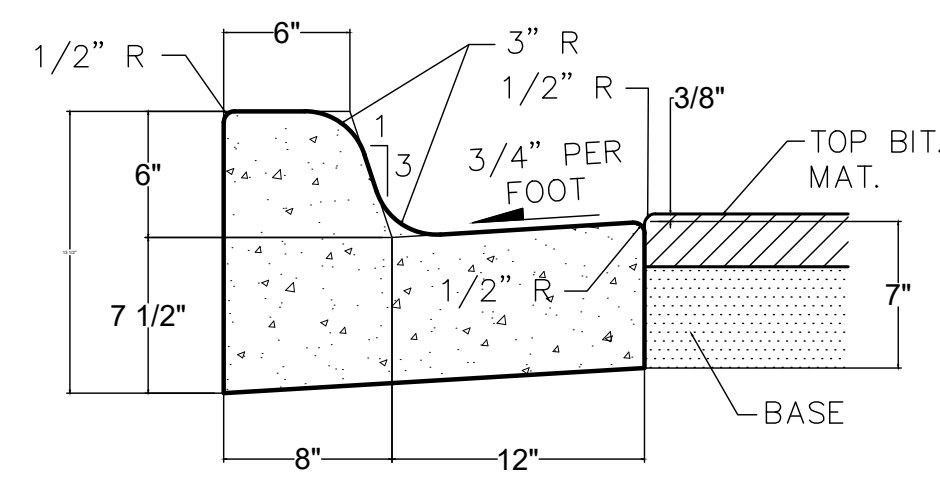
No.	REVISIONS	DATE	BY



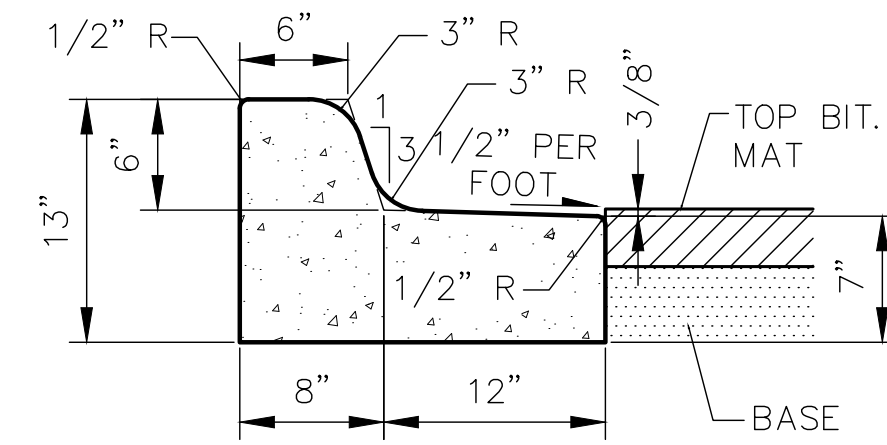
**INSET X
LIGHT DUTY BITUMINOUS**



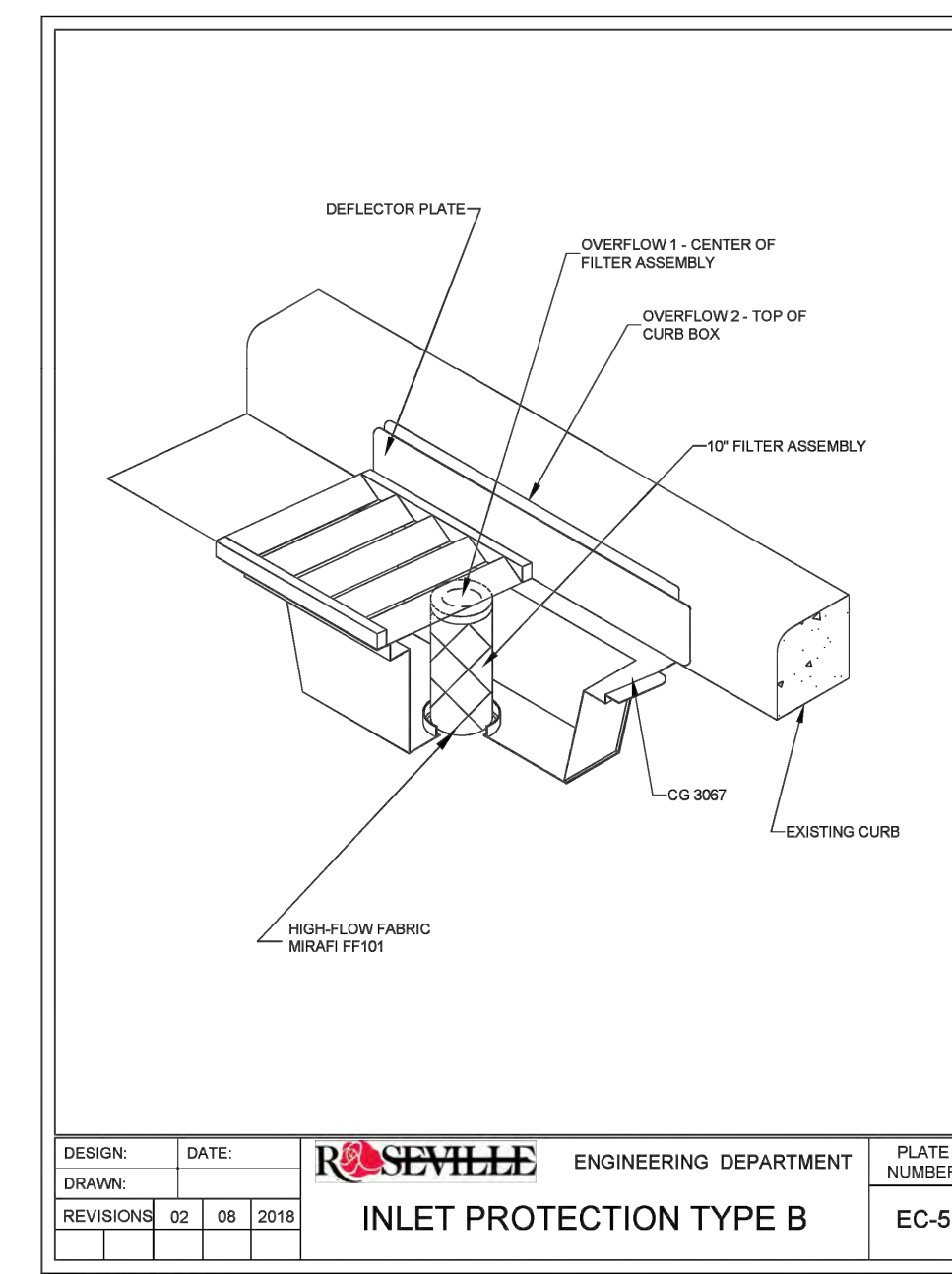
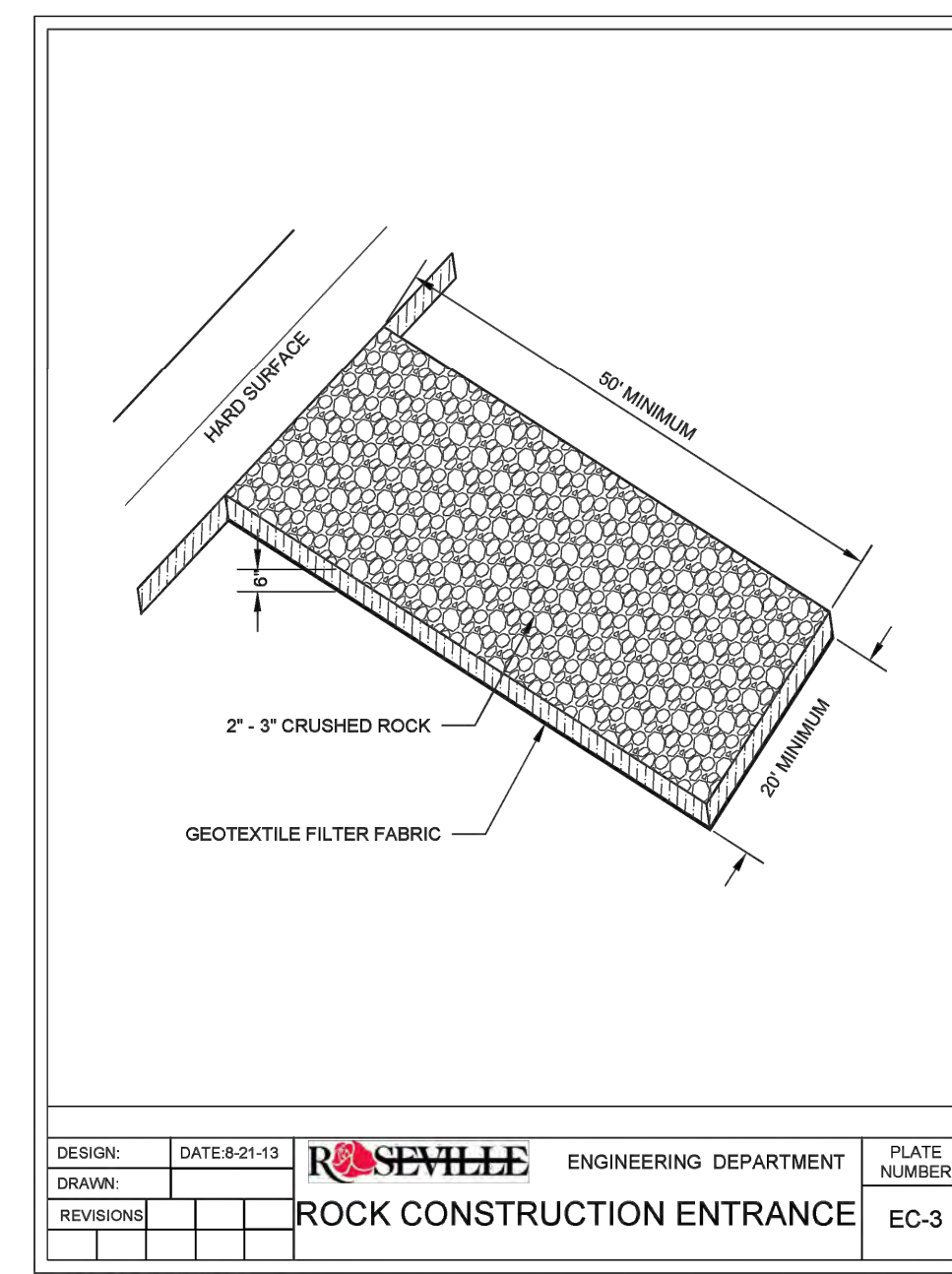
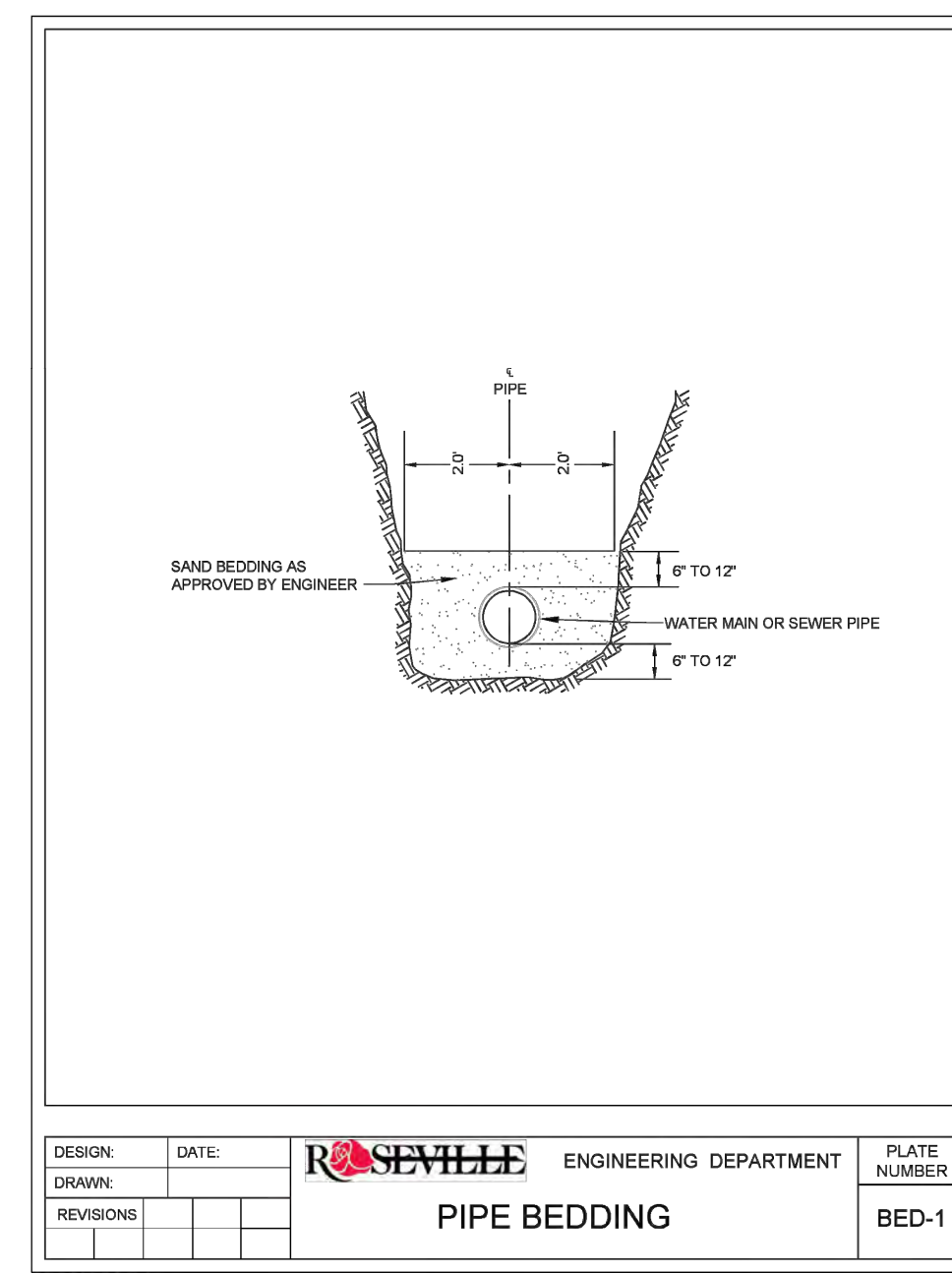
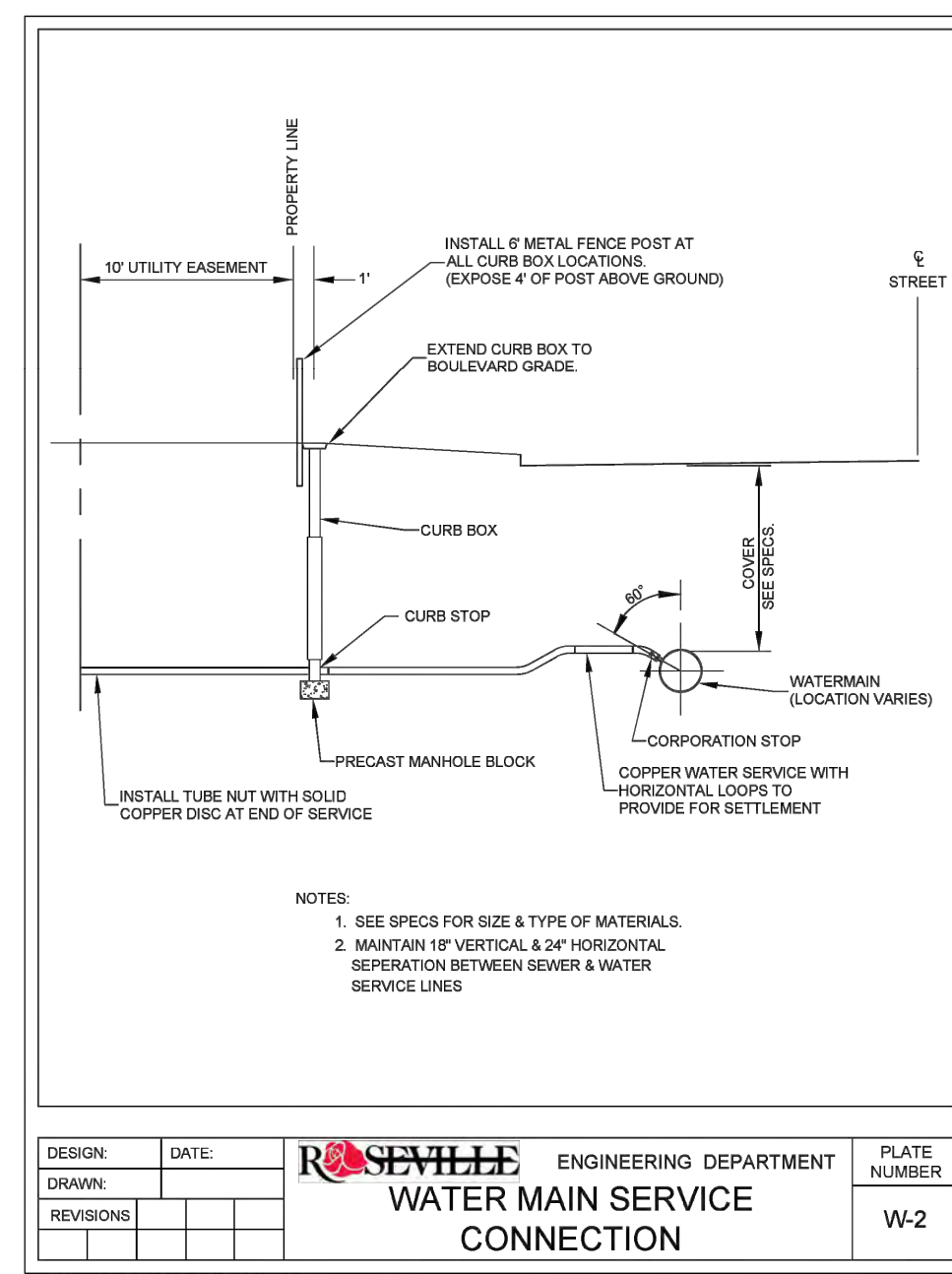
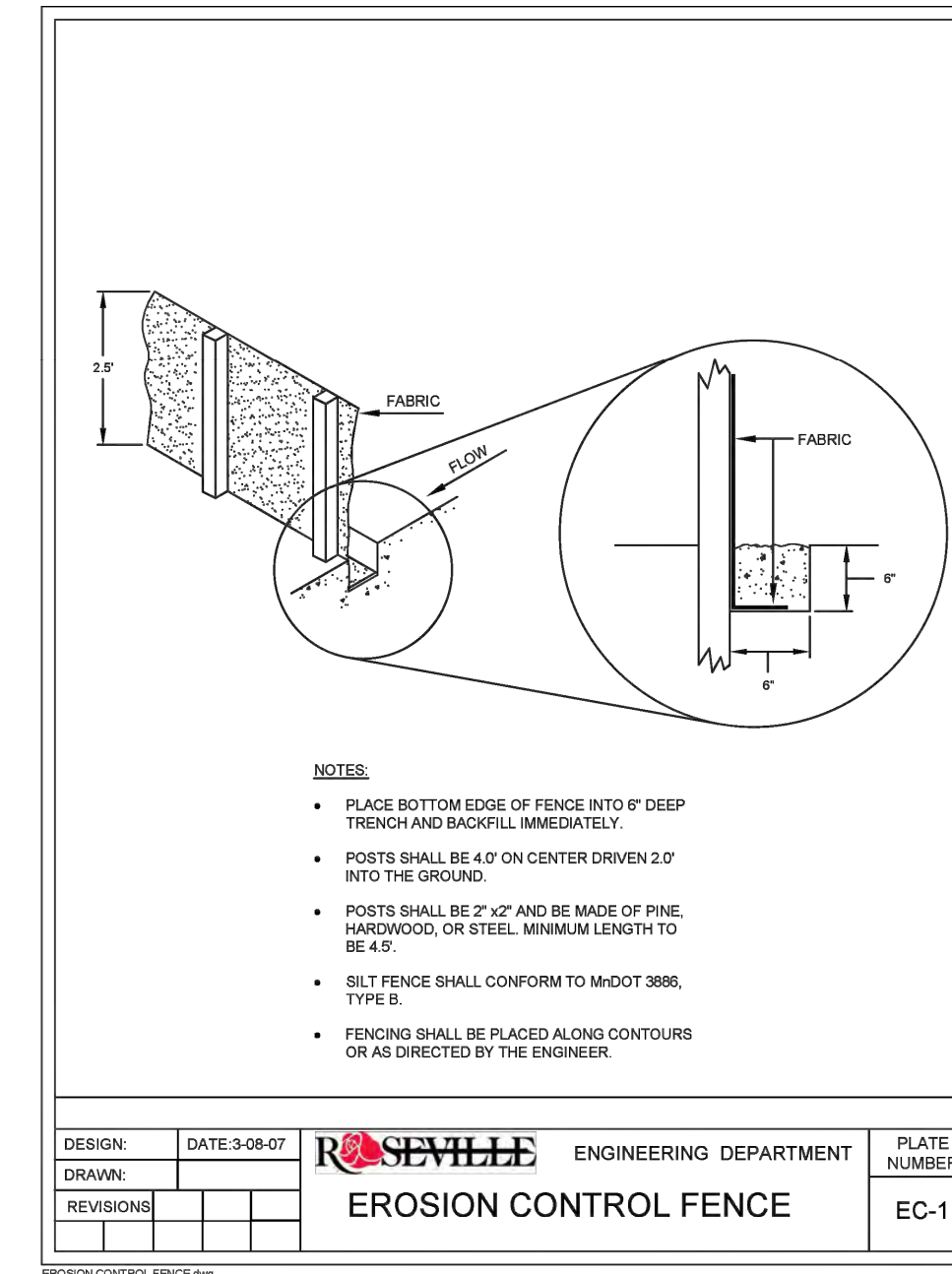
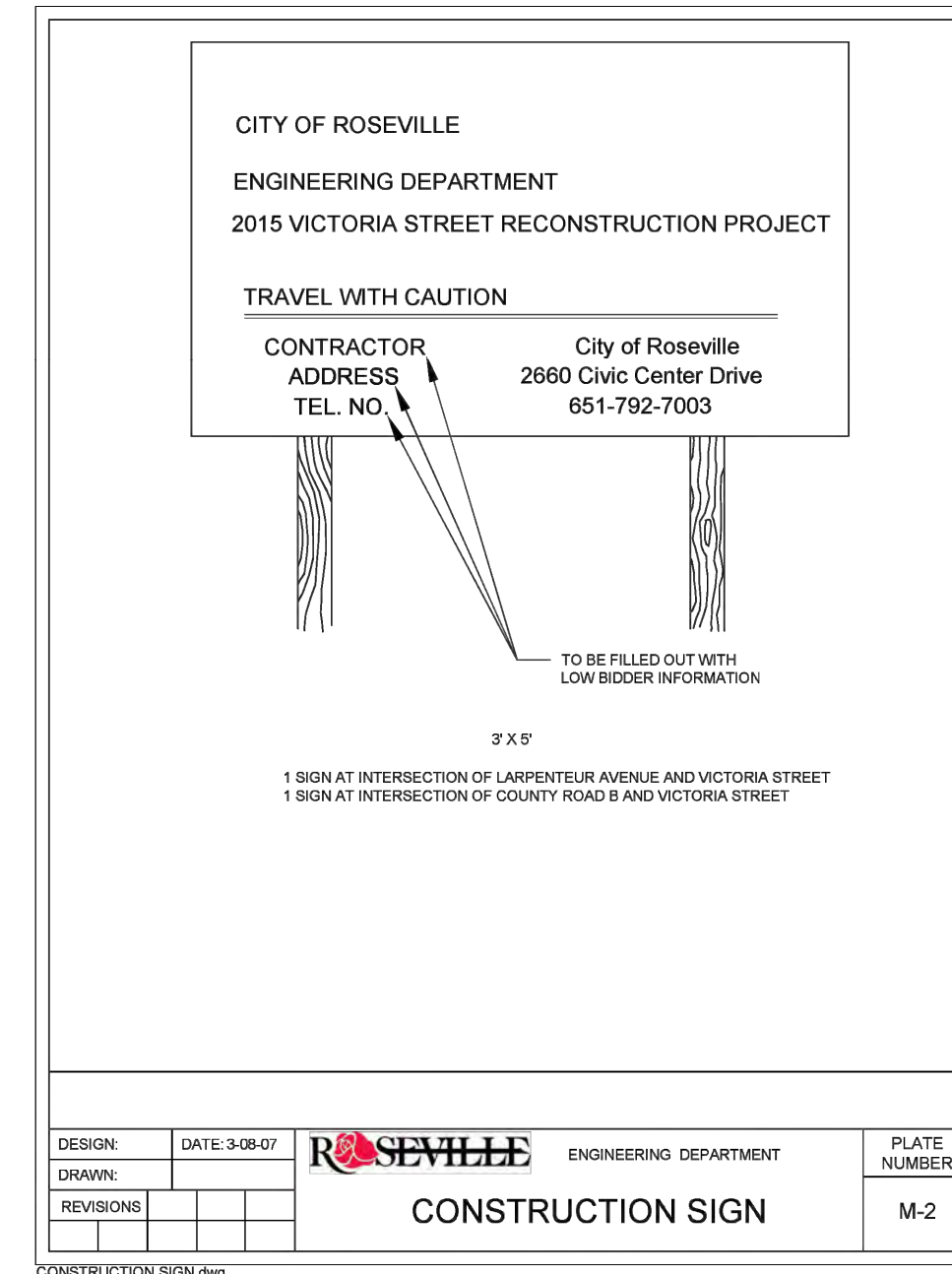
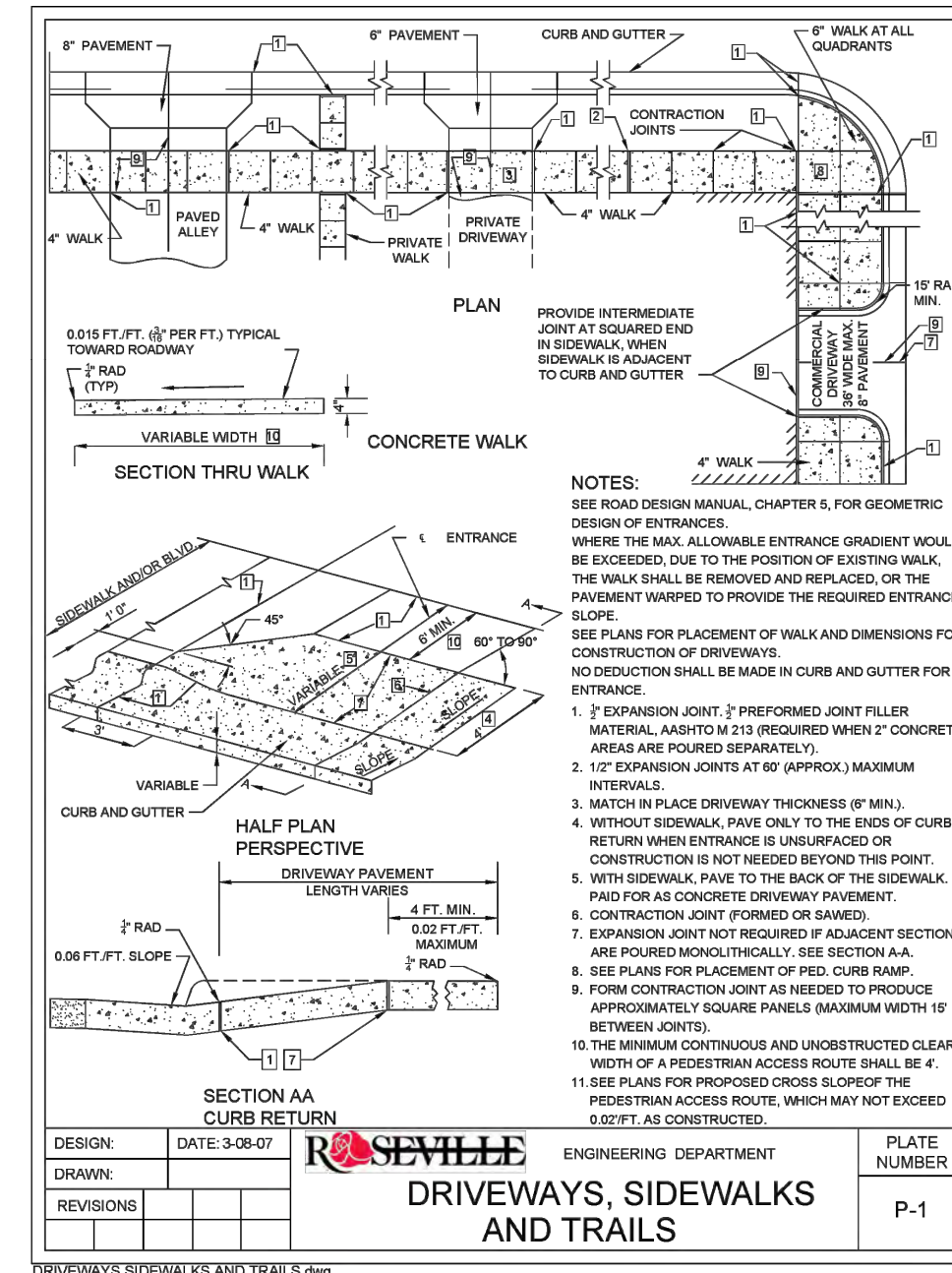
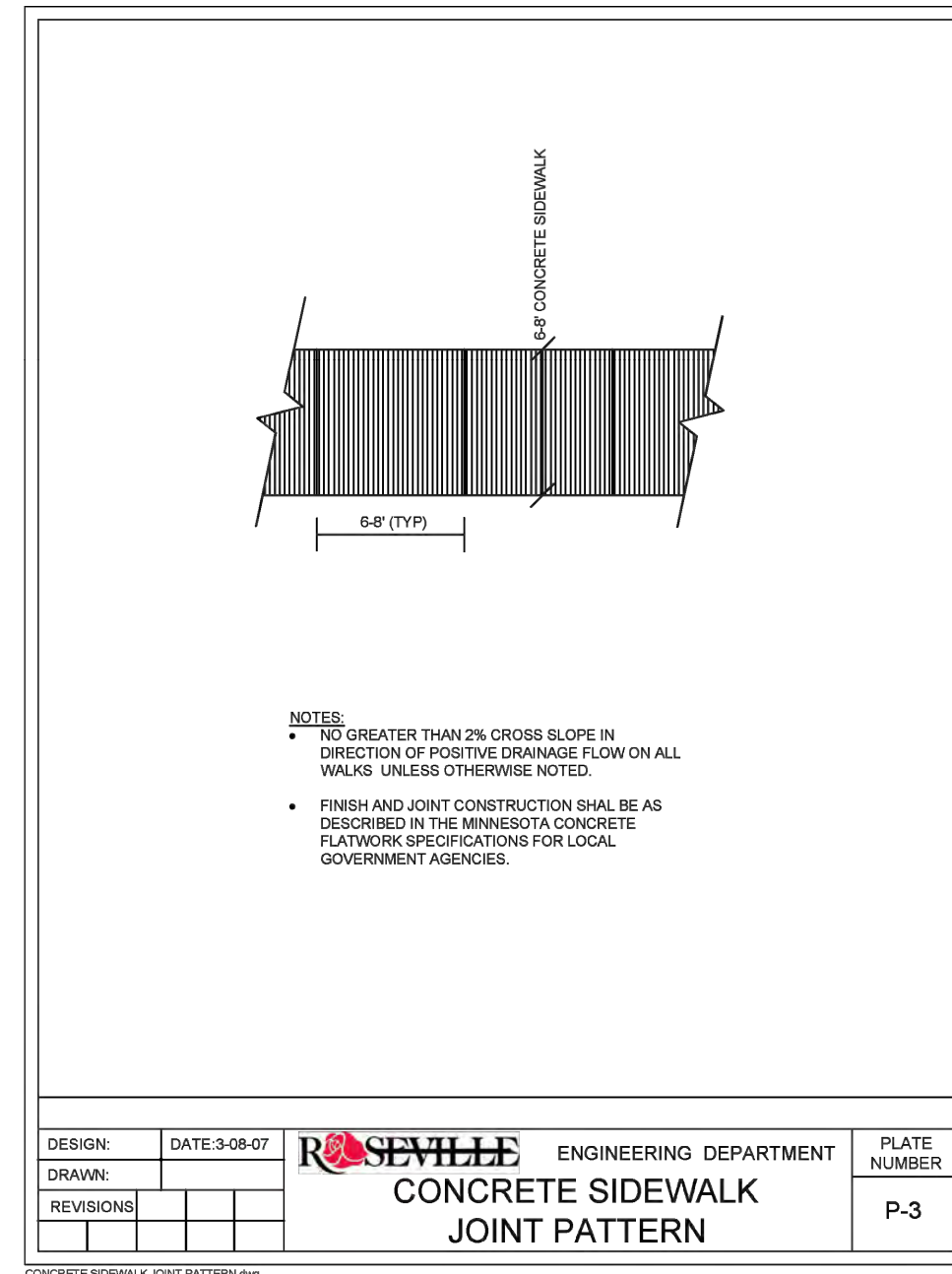
**INSET X
HEAVY DUTY BITUMINOUS**



B612 CURB & GUTTER



**B612 CURB & GUTTER
(OUTFALL)**



PRELIMINARY - NOT FOR CONSTRUCTION

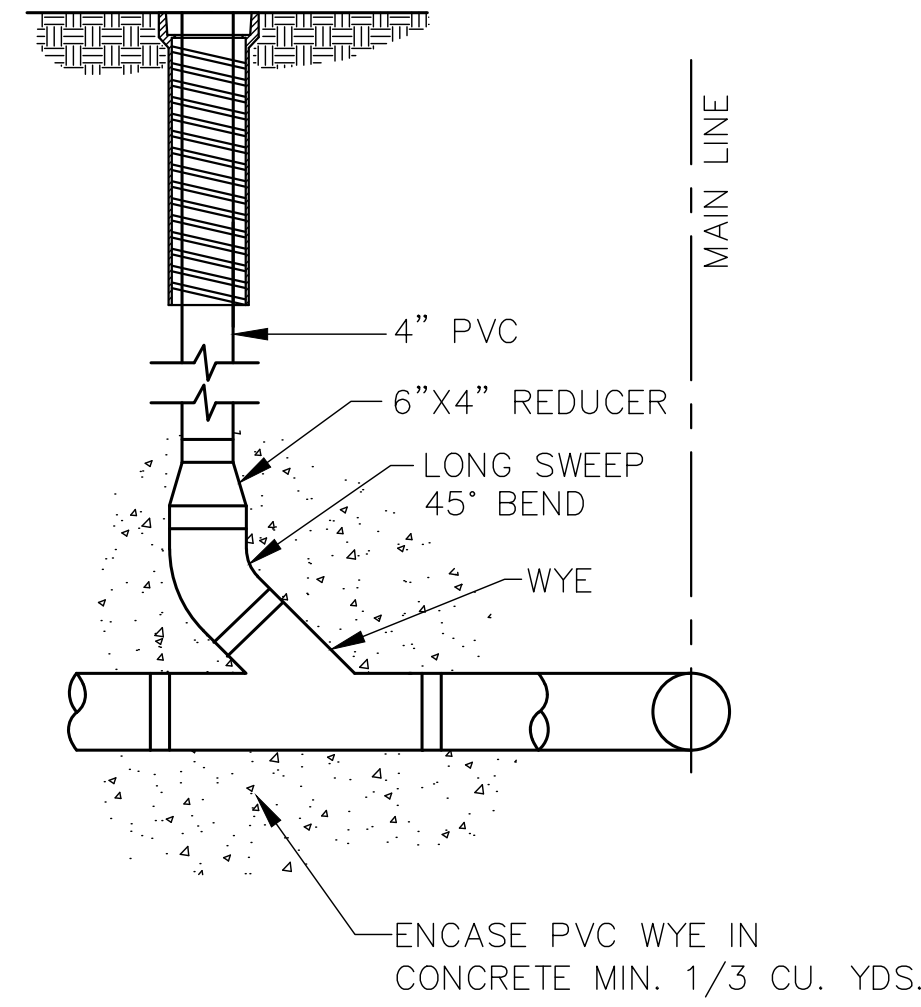
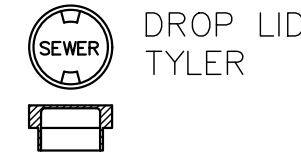
**CARIBOU CABIN -
FALCON HEIGHTS**
PREPARED FOR
BUHL INVESTORS
FALCON HEIGHTS MN

**CONSTRUCTION
DETAILS**

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
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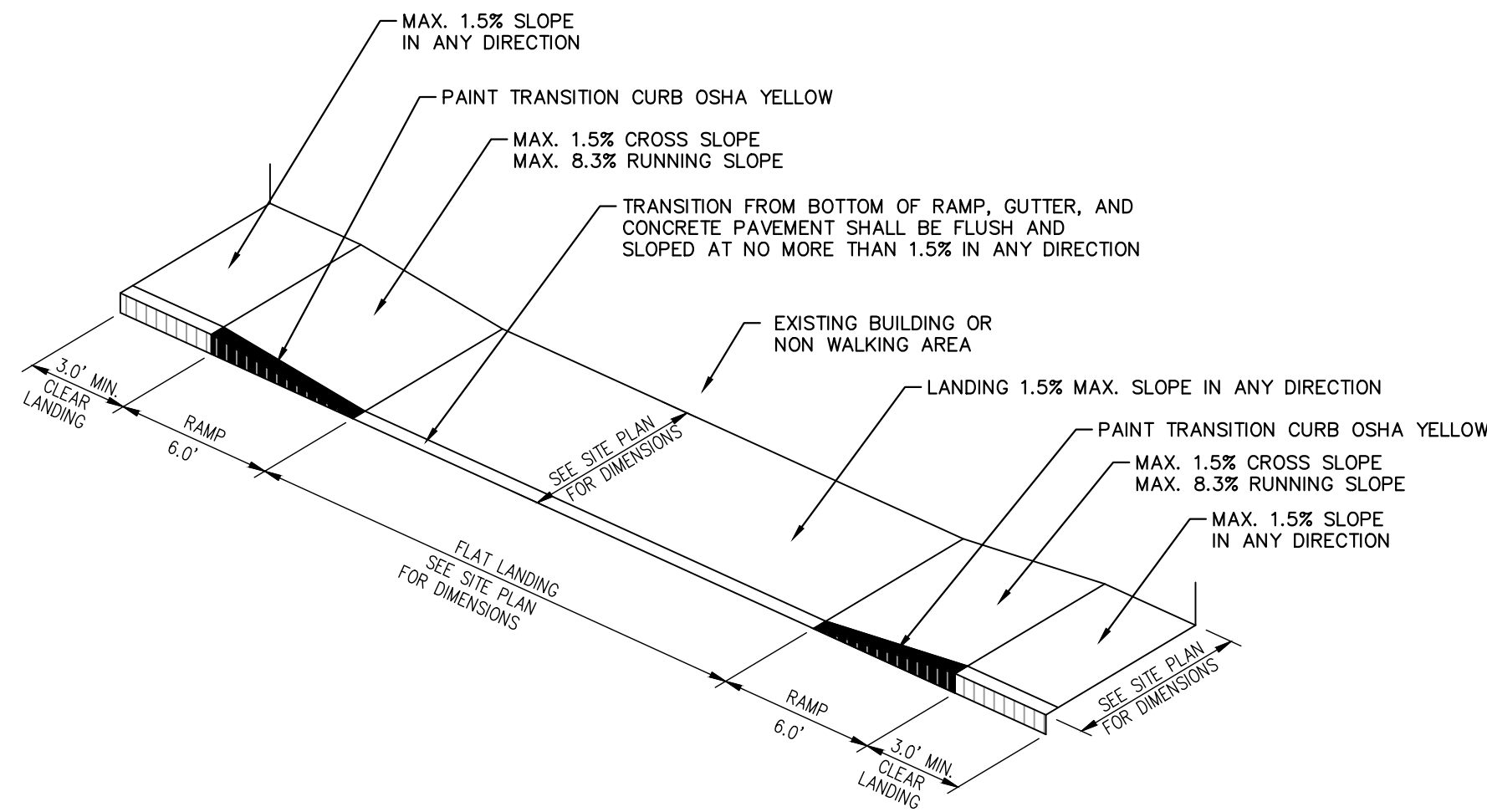
No.	REVISIONS	DATE	BY

SHEET NUMBER
C700

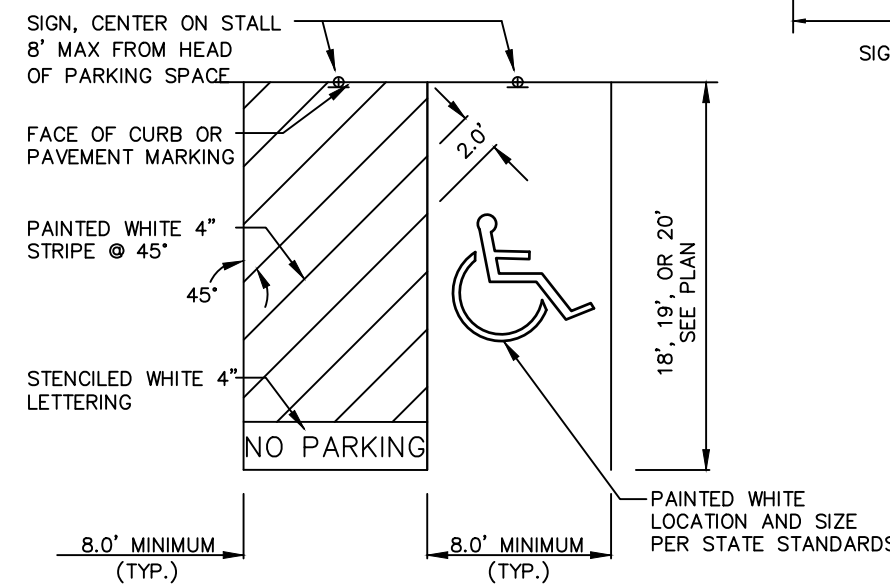


NOTES:
 G.V. BOX TOP SECTION WITH DROP LID (SEWER)
 ENCLOSE LONG SWEEP BEND OR COMBINATION WYE IN CONCRETE AS SHOWN.

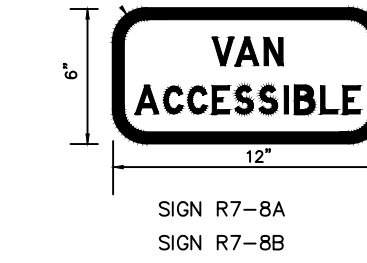
SANITARY SEWER CLEANOUT



ACCESSIBLE CURB RAMP DETAIL

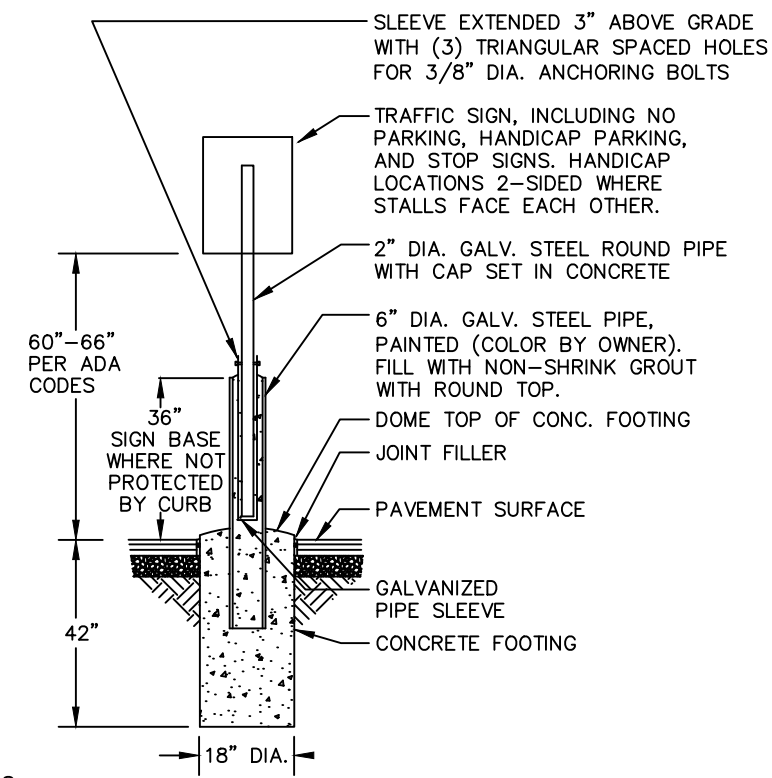


ACCESSIBLE PARKING STALL LAYOUT



COLORS:
 LEGEND AND BORDER - WHITE
 WHITE SYMBOL ON BLUE BACKGROUND
 BACKGROUND - BLUE
 REDUCE SPACING 50%
 SEE APPENDIX "E" FOR SYMBOL PROPORTIONS
 NOTE: SIGNAGE REQUIREMENTS VARY. VERIFY ALL DIMENSIONS, COLOR, AND MOUNTING HEIGHTS, ETC. WITH LOCAL AND STATE AUTHORITIES.

VAN ACCESSIBLE HANDICAP SIGN WITH BOLLARD



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CARIBOU CABIN -
 FALCON HEIGHTS
 PREPARED FOR
 BUHL INVESTORS

**CONSTRUCTION
 DETAILS**

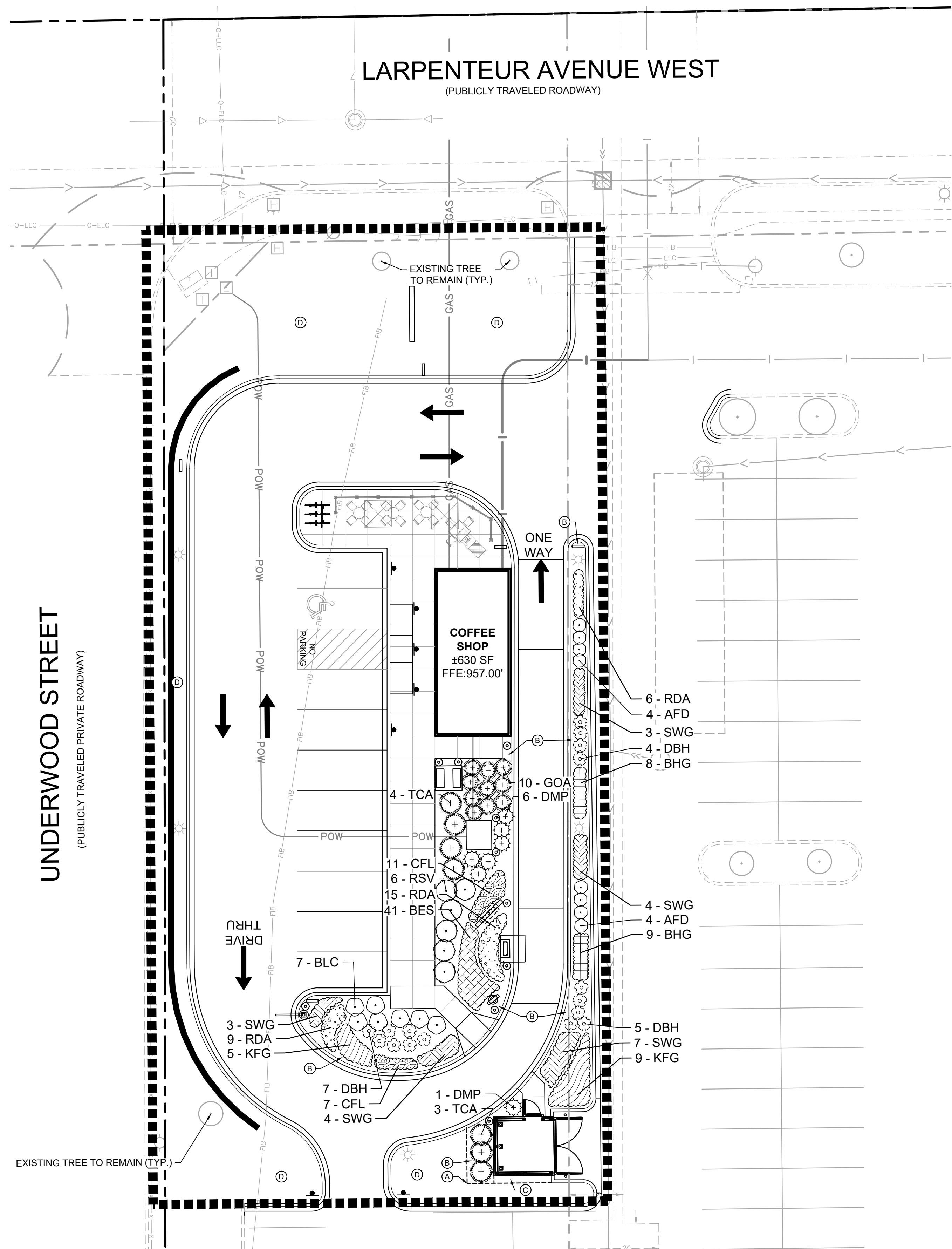
SHEET NUMBER
C701

KHA PROJECT	12345678
DATE	03/06/2023
SCALE	AS SHOWN
DESIGNED BY	RAV
DRAWN BY	RAV
CHECKED BY	DLE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 Dan Elenbas
 DAN L. ELENBAS, PE
 MN LIC. NO. 44824
 DATE: 03/06/2023

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-445-4197
 WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY



LANDSCAPE SUMMARY

ZONE: R5M - HIGH DENSITY RESIDENTIAL MIXED USE
 TREES PROVIDED: 3 EXISTING TREES TO REMAIN
 SHRUBS PROVIDED: 61 SHRUBS = (37 DECIDUOUS SHRUBS + 24 EVERGREEN SHRUBS)
 PERENNIALS PROVIDED: 142 PERENNIALS

LANDSCAPE LEGEND

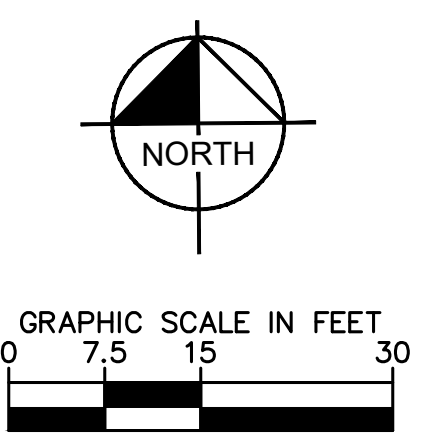
- EXISTING DECIDUOUS TREE (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)

LANDSCAPE KEYNOTES A

- A EDGER (TYP.)
- B DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- C ROCK MULCH (TYP.)
- D SOD (TYP.)

PLANT SCHEDULE

CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING
	DMP	7	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	#5 CONT.	36" O.C.
	GOA	10	THUJA OCCIDENTALIS AUREA	GOLDEN ARBORVITAE	#5 CONT.	4' O.C.
	TCA	7	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	#5 CONT.	5' O.C.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SPACING
	AFD	8	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	#5 CONT.	5' O.C.
	BLC	7	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' TM	IROQUOIS BEAUTY BLACK CHOKEBERRY	#5 CONT.	4' O.C.
	DBH	16	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3' O.C.
	RSV	6	AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5 CONT.	5' O.C.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	BES	41	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	#1 CONT.	18" O.C.
	BHG	17	SCHIZACHYRIUM SCOPARIUM 'BLUE HEAVEN'	BLUE HEAVEN LITTLE BLUESTEM	#1 CONT.	24" O.C.
	CFL	18	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1 CONT.	24" O.C.
	KFG	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT.	36" O.C.
	RDA	30	ASTILBE X ARENSII 'RAZZLE DAZZLE'	RAZZLE DAZZLE ASTILBE	#1 CONT.	24" O.C.
	SWG	21	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	#1 CONT.	36" O.C.



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CARIBOU CABIN -
FALCON HEIGHTS
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 FALCON HEIGHTS MN

LANDSCAPE PLAN

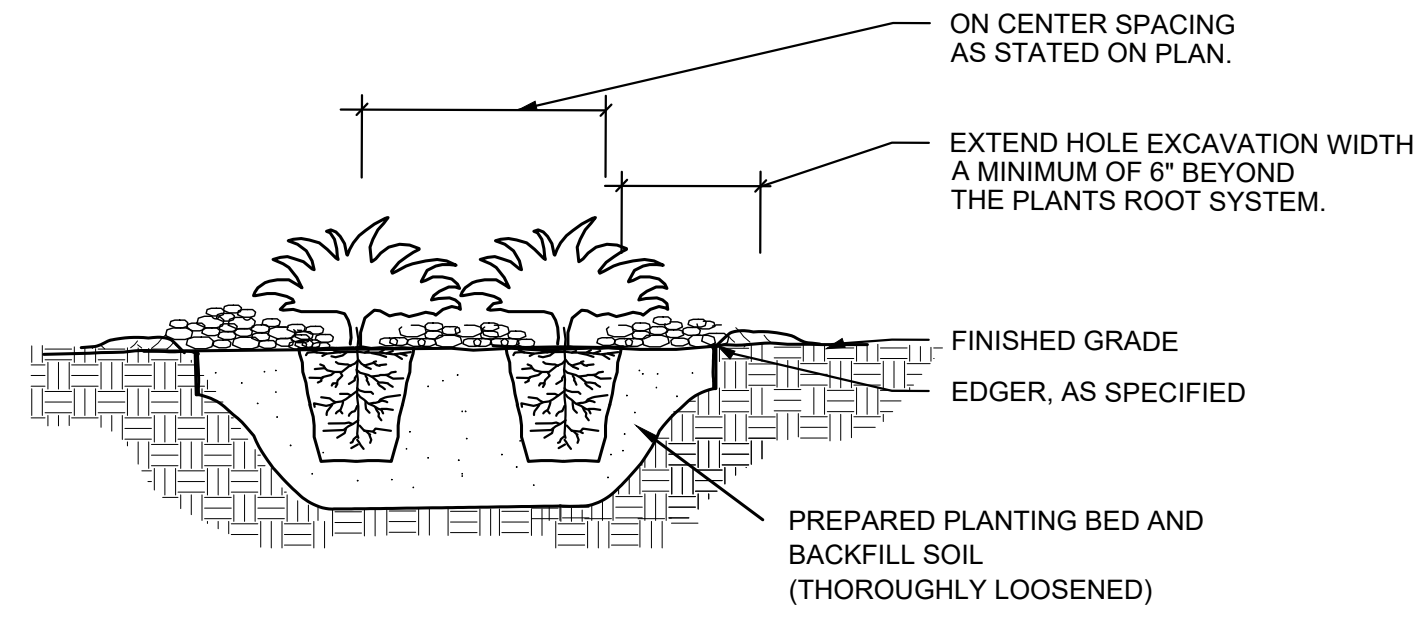
KHA PROJECT
 12345678
 DATE
 03/06/2023
 SCALE AS SHOWN
 DESIGNED BY SSL
 DRAWN BY SSL
 CHECKED BY MGC
 ILLUSTRATION: THIS PLAN IS AN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER OR ARCHITECT FOR THE STATE OF MINNESOTA.

 MITCHELL G. COOKS
 MN LIC. NO. 56522
 DATE: 03/06/2023

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-452-4197
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No.	REVISIONS	DATE	BY

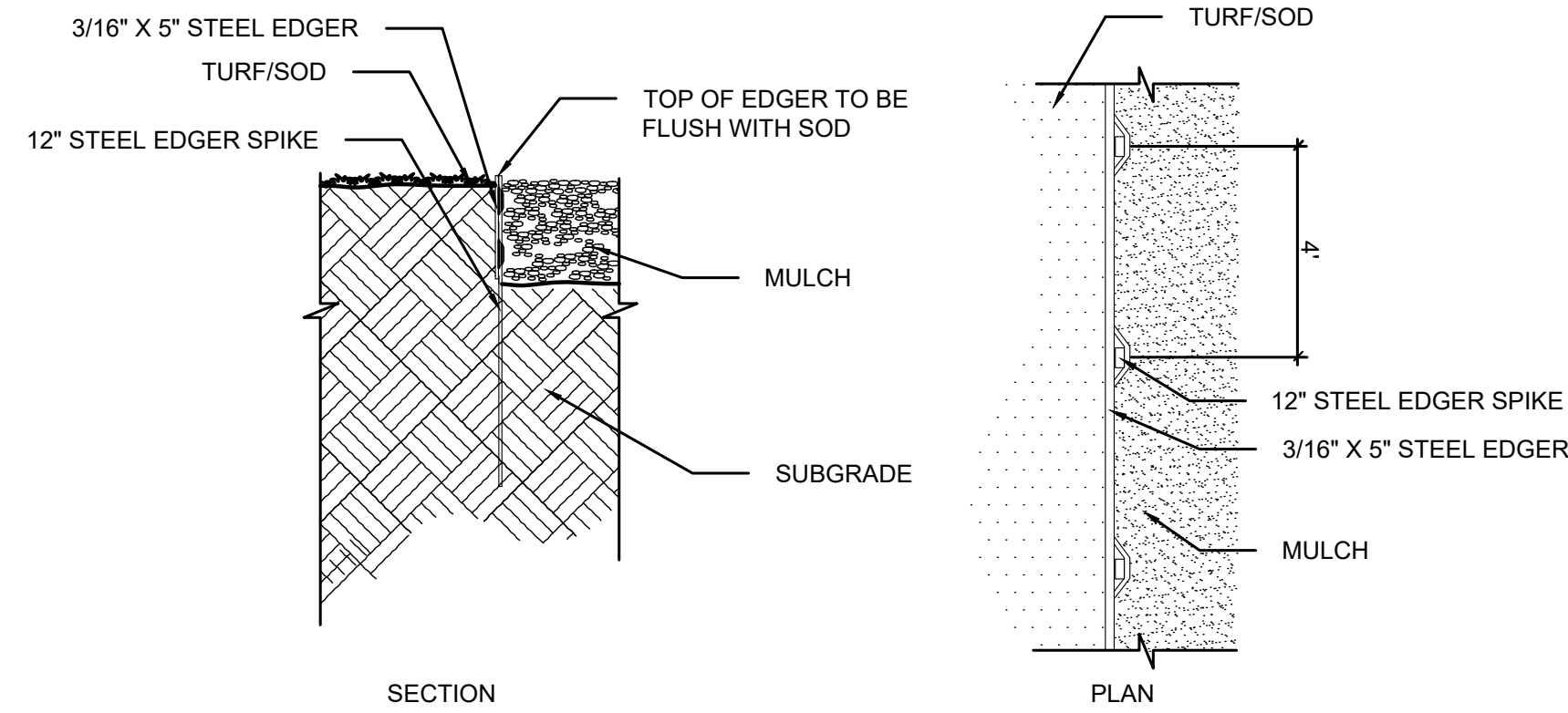




NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

1 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S. L101



2 STEEL EDGER DETAIL
SCALE: N.T.S. L101

LANDSCAPE NOTES

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL. 2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS. 3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. 4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR. 5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING. 6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3. 7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED. 8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES. 9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY. 10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE. 11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS. 12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES. 13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST. 14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR. 15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS. 16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS. | <ol style="list-style-type: none"> 17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR, OR APPROVED EQUAL. ROCK MULCH TO BE RIVER ROCK, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE). 18. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK X 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE). 19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN. 20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY. 21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR. 22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION. 23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER. 24. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIRES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES. 25. SEE ELECTRICAL PLANS FOR SITE LIGHTING 26. OWNER AND ARCHITECT TO CONFIRM SITE FURNISHING SUCH AS BENCHES, TABLES AND CHAIRS, BIKE RACK AND TRASH/RECYCLING RECEPTACLES |
|--|--|

PRELIMINARY - NOT FOR CONSTRUCTION

**CARIBOU CABIN -
FALCON HEIGHTS**
 PREPARED FOR
BUHL INVESTORS
 FALCON HEIGHTS MN

**LANDSCAPE
DETAILS**

KHA PROJECT 12345678	DATE 03/06/2023	SCALE AS SHOWN	DESIGNED BY SSL	DRAWN BY SSL	CHECKED BY MGC
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I HEREBY CERTIFY THAT THIS IS AN ORIGINAL COPY OF THE DRAWING PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT FOR THE STATE OF MINNESOTA.
 Dan Cookas
 MITCHELL G. COOKAS
 MN LIC. NO. 96522
 DATE: 03/06/2023

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-452-4197
 WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY



To: Jack Linehan, City Administrator
City of Falcon Heights

From: Tom Sachi, PE, Project Manager
Eric Wurst, EIT, Engineer I

Date: March 10, 2023

Subject: Caribou Coffee Cabin Traffic Study; Falcon Heights, MN

Introduction

SRF has completed a traffic study for the proposed Caribou Coffee Cabin located in the southwest quadrant of the Snelling Avenue and Larpenteur Avenue intersection in the City of Falcon Heights (see Figure 1: Project Location). The main objectives of the study are to review existing traffic operations within the study area, evaluate impacts to the adjacent roadway network, particularly with the drive thru operations, and recommend any necessary improvements to accommodate the proposed development. The following information provides the assumptions, analysis, and study findings offered for consideration.

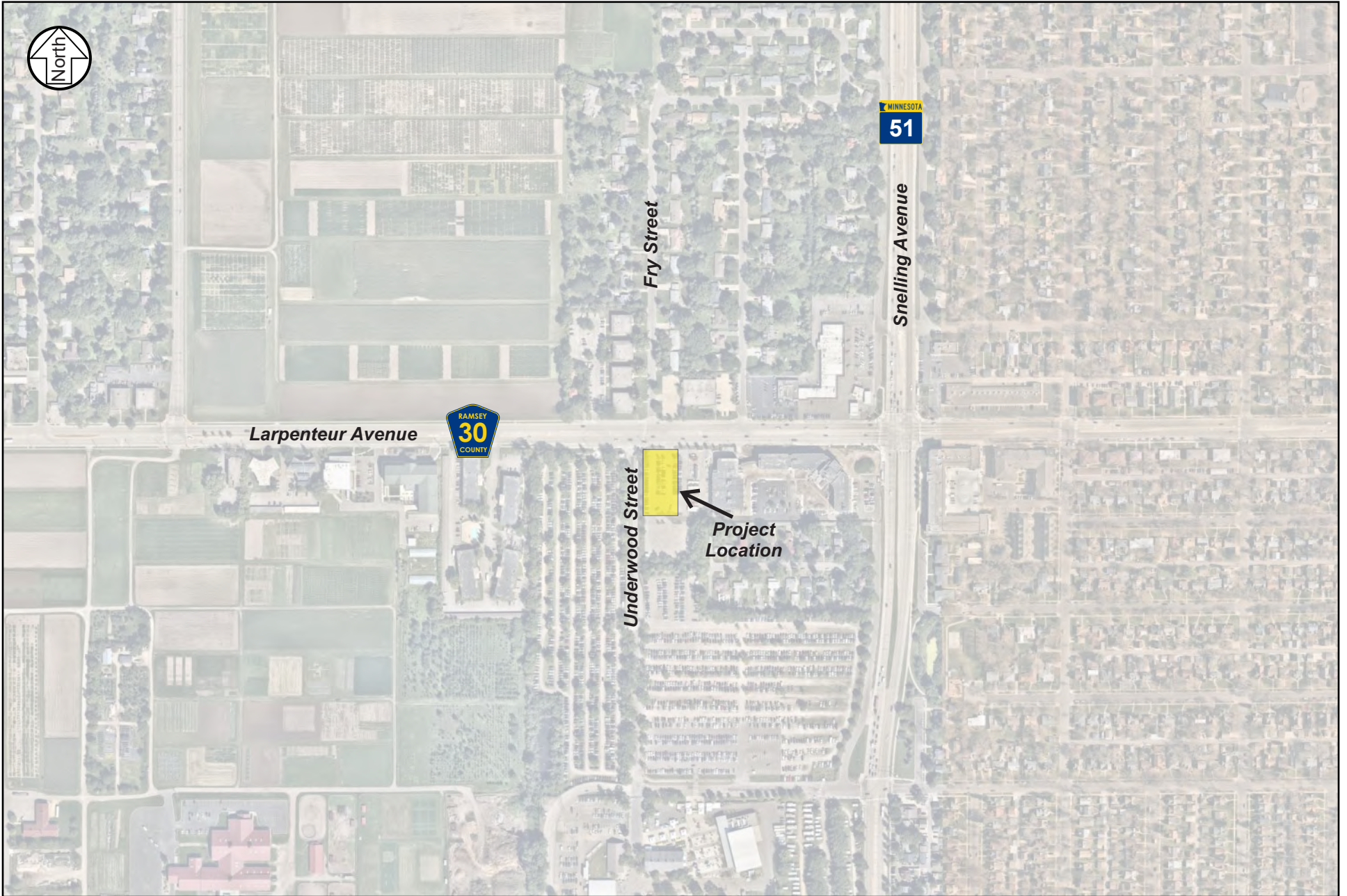
Existing Conditions

Existing conditions were reviewed to establish a baseline to identify any future impacts associated with the proposed development. Evaluation of the existing conditions includes a review of traffic volumes, roadway characteristics, and an intersection capacity analysis, which are summarized in the following sections.

Data Collection

Weekday a.m. and midday peak period vehicular turning movement and pedestrian/bicyclist counts were collected by SRF during the week of February 20, 2022, at the Larpenteur Avenue and Fry Street/Access Driveway intersection. Note, observations were also collected at the immediately adjacent Underwood Street intersection to the west, however, no vehicles enter/exited from Underwood Street as the access is currently closed.

Observations were completed to identify roadway characteristics (i.e. roadway geometry, posted speed limits, and traffic controls) within the study area. Larpenteur Avenue is currently a four-lane undivided roadway with a center two-way left-turn lane within the study area with a speed limit of 40 mph. Underwood Street is located just west of the study intersection and serves as an access road for the Minnesota State Fair, but is closed off when the Fairgrounds are not active.



Project Location

Caribou Coffee Cabin Traffic Study
City of Falcon Heights

The Larpenteur Avenue and Fry Street/Access Driveway intersection is side-street stop controlled. Larpenteur Avenue is classified as an A Minor Augmentor, while Fry Street and Underwood Street are local roadways. Existing geometrics, traffic controls, and traffic volumes in the study are shown in Figure 2.

Intersection Operations Analysis

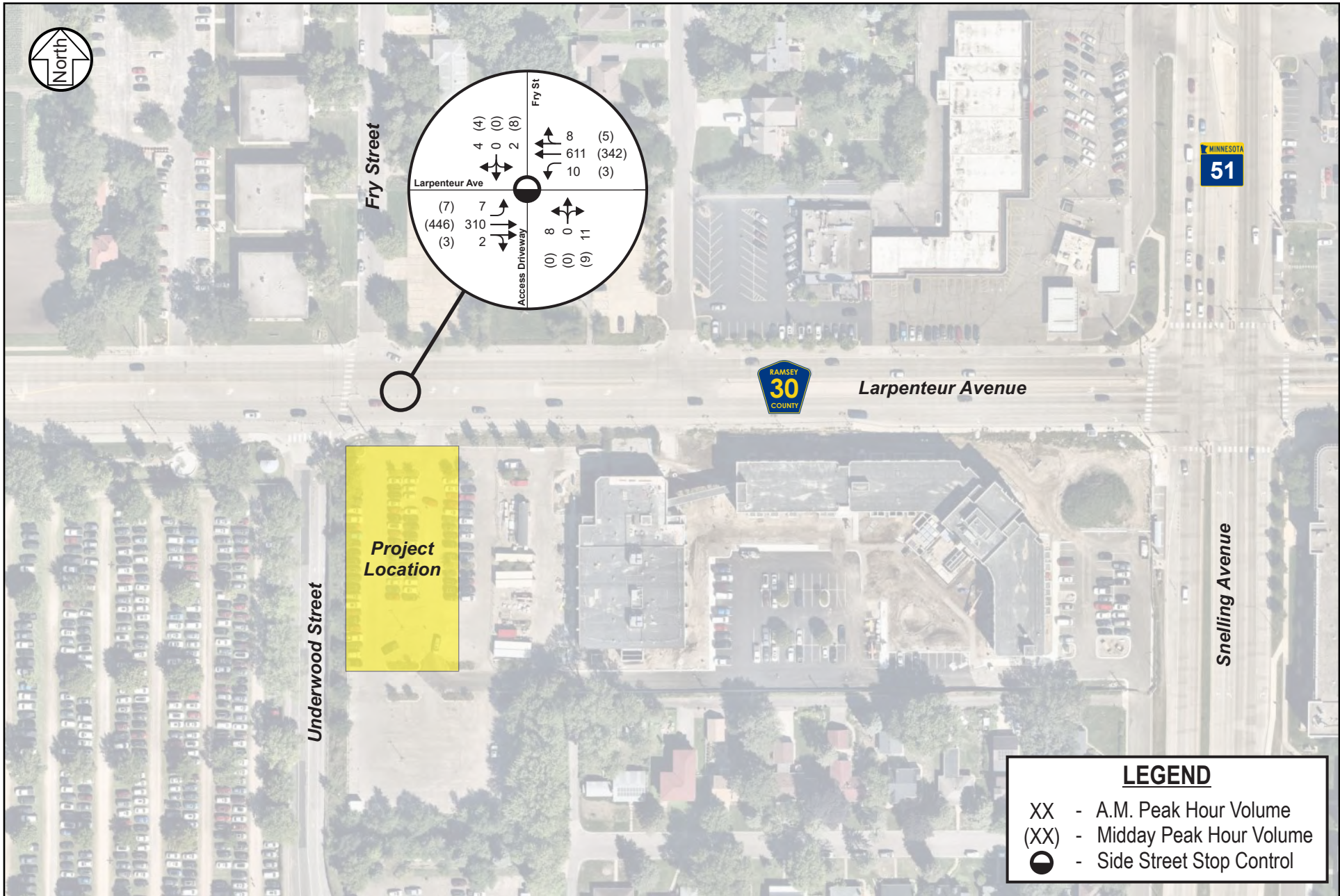
An intersection capacity analysis was completed for the weekday a.m. and midday peak hours to identify any areas of queuing or congestion concern under existing conditions. Note, the proposed development is expected to peak in the morning and midday, and therefore the p.m. peak hour was not analyzed. The study intersections were analyzed using Synchro/SimTraffic (Version 11). Capacity analysis results identify a Level of Service (LOS), which indicates the quality of traffic flow through an intersection. Intersections are given a ranking from LOS A through LOS F. The LOS results are based on average delay per vehicle, which correspond to the delay threshold values shown in Table 1. LOS A indicates the best traffic operation, with vehicles experiencing minimal delays. LOS F indicates an intersection where demand exceeds capacity, or a breakdown of traffic flow. Overall intersection LOS A through LOS D is generally considered acceptable based on MnDOT guidelines.

Table 1. Level of Service Criteria for Signalized and Unsignalized Intersections

LOS Designation	Signalized Intersection Average Delay/Vehicle (seconds)	Unsignalized Intersection Average Delay/Vehicle (seconds)
A	≤ 10	≤ 10
B	> 10 - 20	> 10 - 15
C	> 20 - 35	> 15 - 25
D	> 35 - 55	> 25 - 35
E	> 55 - 80	> 35 - 50
F	> 80	> 50

For side-street stop-controlled intersections, special emphasis is given to providing an estimate for the level of service of the side-street approach. Traffic operations at an unsignalized intersection with side-street stop control can be described in two ways. First, consideration is given to the overall intersection level of service. This takes into account the total number of vehicles entering the intersection and the capability of the intersection to support these volumes. Second, it is important to consider the delay on the minor approach. Since the mainline does not have to stop, the majority of delay is attributed to the side-street approaches. It is typical of intersections with higher mainline traffic volumes to experience high levels of delay (i.e. poor levels of service) on the side-street approaches, but an acceptable overall intersection level of service during peak hour conditions.

Results of the existing operations analysis shown in Table 2 indicate that the study intersection operates at an acceptable LOS A during the a.m. and midday peak hours with the existing traffic control and geometric layout. No significant side-street delays or queuing issues were observed at the study intersections.



Existing Conditions

Caribou Coffee Cabin Traffic Study
City of Falcon Heights

Figure 2

Table 2. Existing Peak Hour Capacity Analysis

Intersection	Weekday A.M. Peak Hour		Weekday Midday Peak Hour	
	LOS	Delay	LOS	Delay
Larpenteur Avenue & Fry Street/Access Driveway ⁽¹⁾	A/B	14 sec.	A/A	6 sec.

(1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS. The delay shown represents the worst side-street approach delay.

Proposed Development

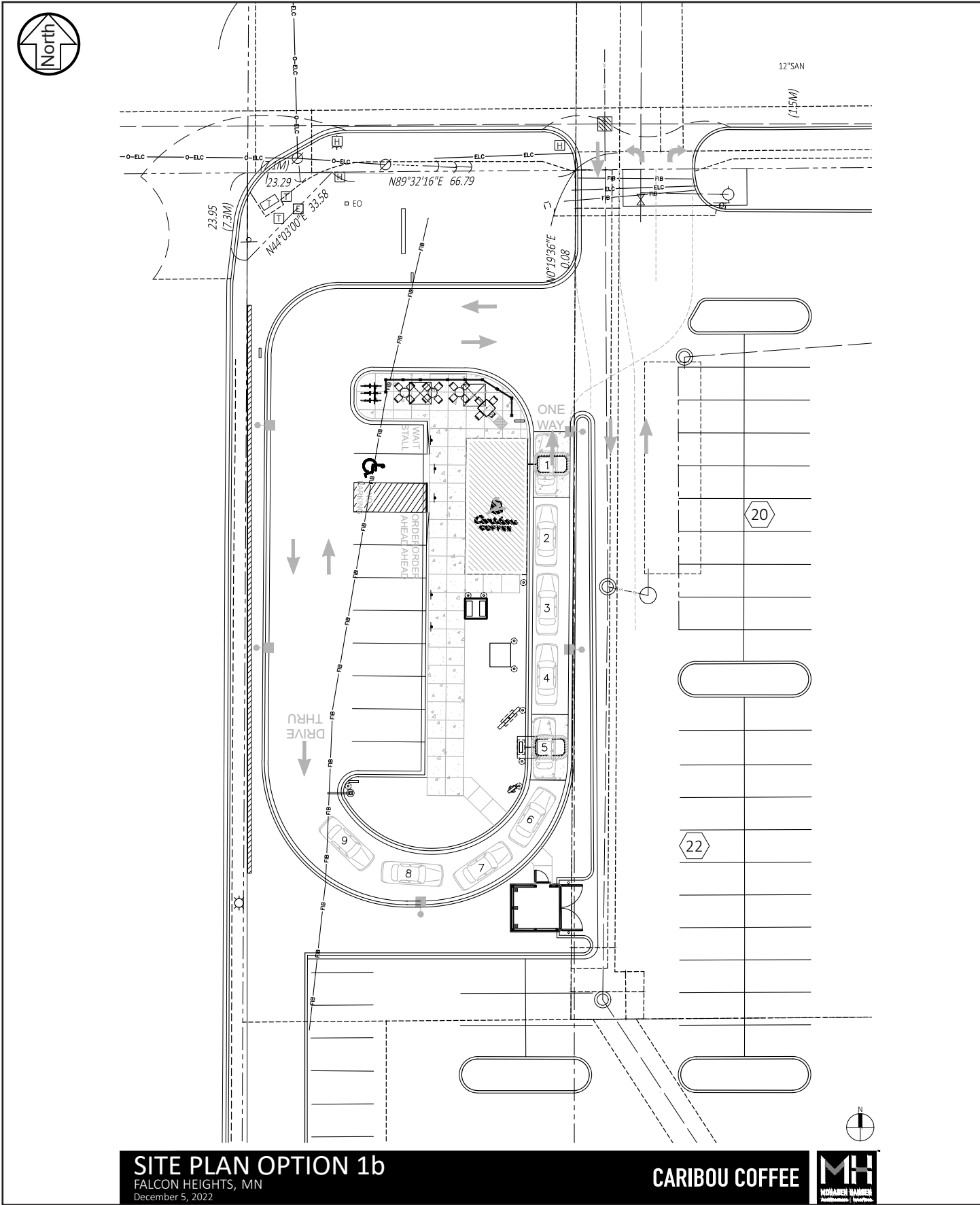
The proposed development, shown in Figure 3, is located in the southwest quadrant of the Snelling Avenue and Larpenteur Avenue intersection and is anticipated to be fully operational by the year 2025. The proposed development includes an approximately 650-square-foot (SF) coffee shop with a drive-through lane and no indoor seating. Note, there are a few outdoor tables that will be available seasonally. The primary access to the proposed development is located on Larpenteur Avenue via the existing access driveway located approximately 125 feet east of Underwood Street, opposite Fry Street. As shown in the site plan, it is assumed that the access to Larpenteur Avenue will have a dedicated northbound right and left turn lane. The development is adjacent to the Amber Union building, which contains affordable residential and commercial uses.

Year 2025 Conditions

To identify potential impacts associated with the proposed development, traffic forecasts for year 2025 conditions (i.e. one-year after opening) were developed. The year 2025 conditions take into account general area background growth and traffic generated by the proposed development. The following sections provide details on the background traffic forecasts, estimated trip generation, and the intersection capacity analysis for year 2025 conditions.

Background Traffic Growth

To account for general background growth in the area, an annual growth rate of one-half (0.5) percent was applied to the existing peak hour traffic volumes to develop year 2025 background forecasts. This growth rate was developed using a combination of historical average daily traffic (ADT) volumes from surrounding roadways as published by MnDOT, traffic forecasts from the *2040 Falcon Heights Comprehensive Plan*, and engineering judgment.



Site Plan
 Caribou Coffee Cabin Traffic Study
 City of Falcon Heights

Figure 3

Trip Generation

To account for traffic impacts associated with the proposed development, trip generation estimates were developed for the weekday a.m. and midday peak hours, as well as on a daily basis. These estimates, shown in Table 3, were developed using data collected at a similar-type land use and the *ITE Trip Generation Manual, 11th Edition*.

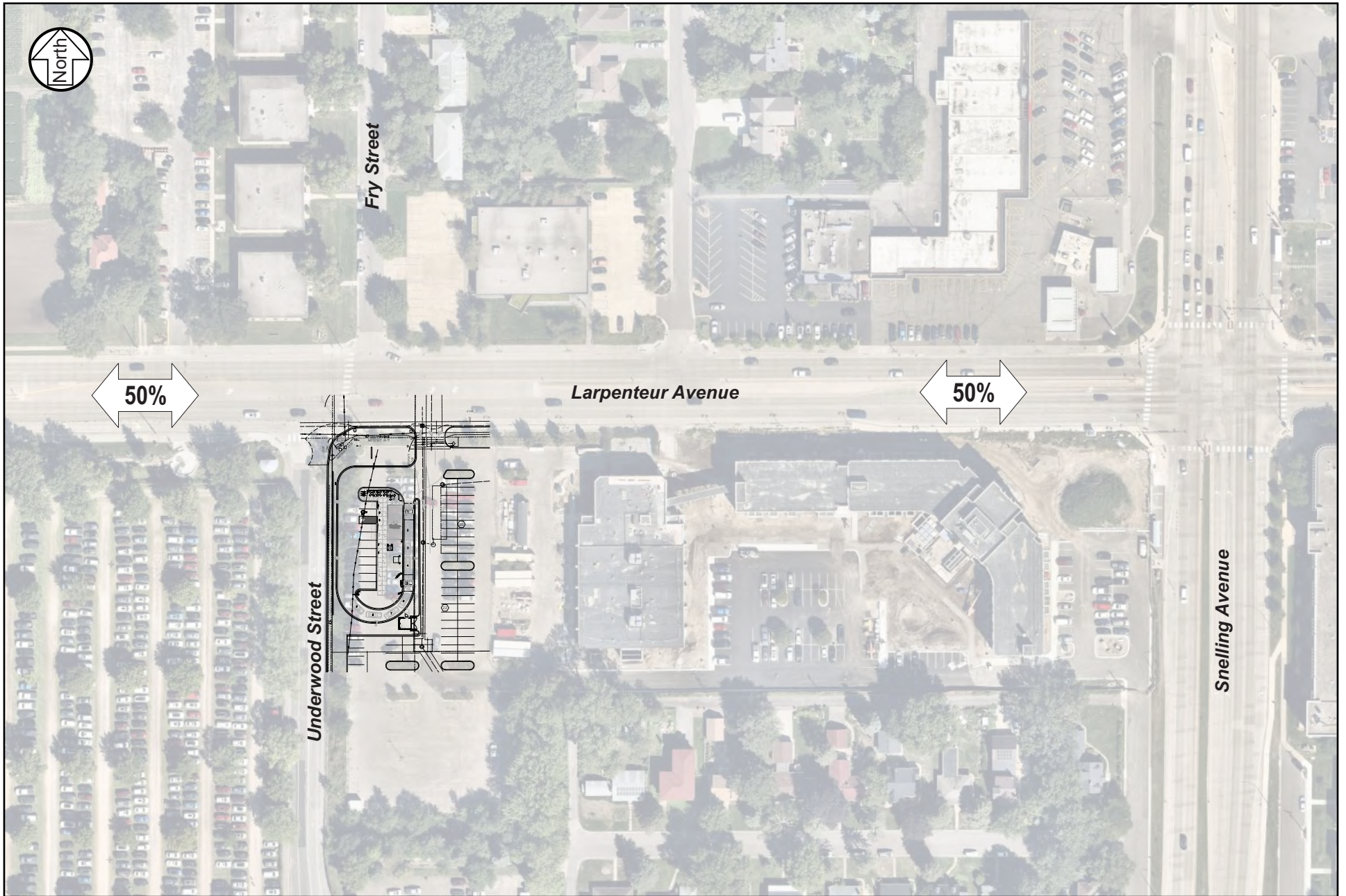
Table 3. Trip Generation Estimate

Land Use Type (<i>ITE Code</i>)	Size	A.M. Peak Hour		Midday Peak Hour		Daily Trips
		In	Out	In	Out	
Coffee/Donut Shop with Drive-through Window (937)	650 SF	38	38	27	27	760
Pass-by/Diverted-link Trips (89%)		(-34)	(-34)	(-24)	(-24)	(-676)
Net New Area Trips		4	4	3	3	84

Results of the trip generation estimate indicate that the proposed development is expected to generate 76 weekday a.m. peak hour, 54 weekday midday peak hour, and 760 weekday daily trips. However, a majority of the trips are expected to be made up of vehicles already travelling within the study area (i.e., pass-by/diverted-link trips). According to the *ITE Trip Generation Handbook, 3rd Edition*, 89 percent of trips generated by this land use are pass-by/diverted-link trips. Therefore, the proposed development is expected to generate 8 weekday a.m. peak hour, 6 weekday midday peak hour, and 84 weekday daily trips that are new to the study area. The trips generated were distributed to the study area based on the directional distribution shown in Figure 4, which was developed based on a combination of existing daily traffic volumes/travel patterns and engineering judgment. The resultant year 2025 peak hour traffic forecasts, which include general background growth and trips generated by the development, are illustrated in Figure 5.

Year 2025 Build Conditions Intersection Capacity Analysis

To determine how the study intersections will operate under year 2025 build conditions, an intersection capacity analysis was completed using Synchro/SimTraffic software (Version 11). Results of the year 2025 build intersection capacity analysis shown in Table 4 indicate that the study intersection is expected to continue to operate at an acceptable overall LOS A during the a.m. and midday peak hours, with minimal increases in delay (i.e. zero to two (2) seconds). There are not expected to be any internal queuing issues entering or exiting the proposed development along Larpenteur Avenue. The northbound average and 95th percentile queues exiting the site to Larpenteur Avenue are expected to be one (1) and three (3) vehicles, respectively. The westbound left turn along Larpenteur Avenue is expected to have a maximum queue of one (1) vehicle during the a.m. and midday peak hours. No significant side-street delays or queuing issues were observed in the study area.



Directional Distribution

Caribou Coffee Cabin Traffic Study
 City of Falcon Heights

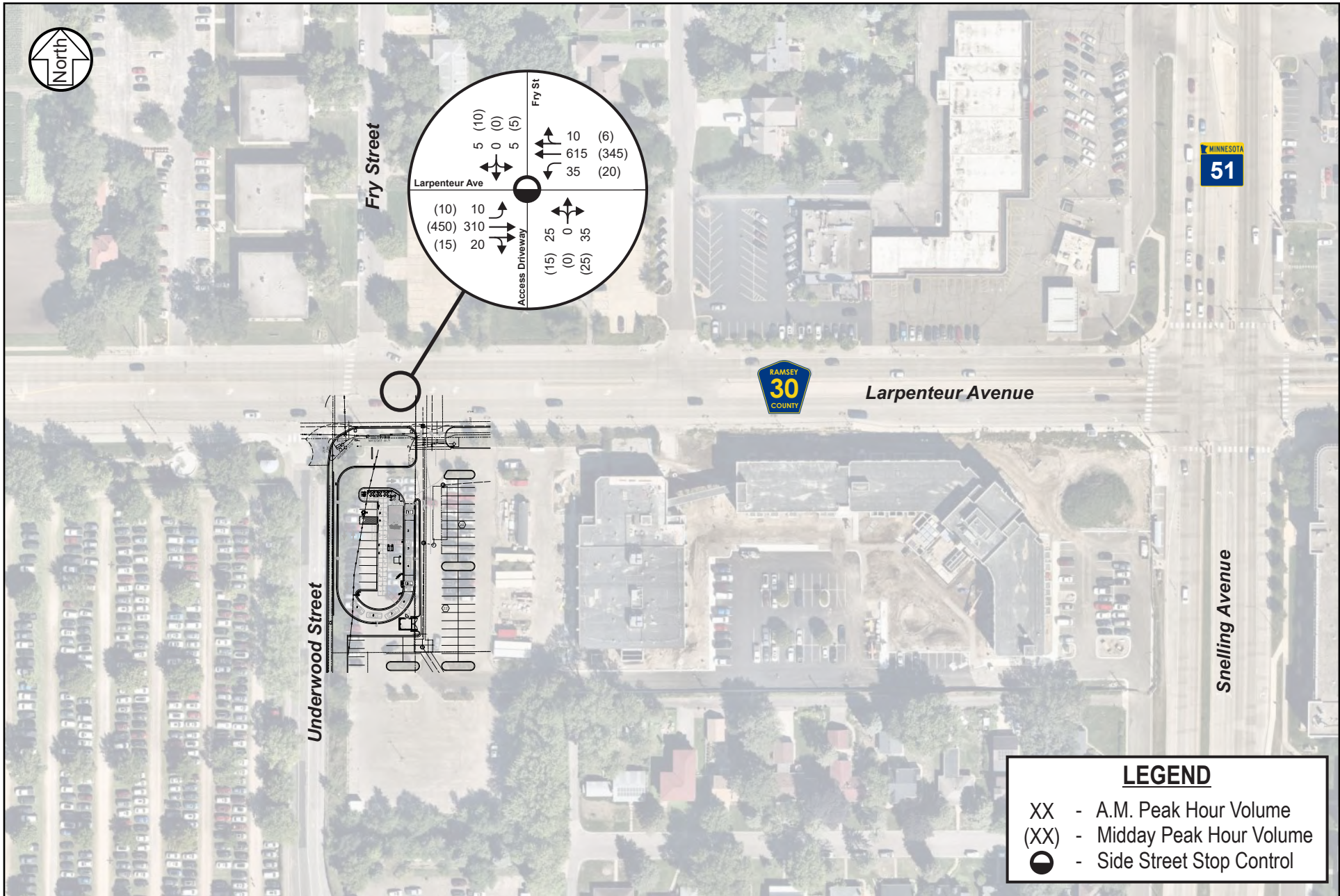


Table 4. Year 2025 Intersection Capacity Analysis

Intersection	Weekday A.M. Peak Hour		Weekday Midday Peak Hour	
	LOS	Delay	LOS	Delay
	Larpenteur Avenue & Fry Street/Access Driveway ⁽¹⁾	A/B	14 sec.	A/B

(1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS. The delay shown represents the worst side-street approach delay.

Site Plan Review

A review of the proposed site plan was completed to identify any issues and recommend potential improvements with regard to drive-through operations, access, and circulation. Based on field observations, there is adequate sight distance at the existing access location on Larpenteur Avenue to clearly identify approaching vehicles. Special consideration should be made to limit any sight distance impacts from future landscaping and signing. No other traffic control or circulation issues are expected.

Drive-Thru Queuing Review

A review of the drive-thru queuing storage area was completed to identify if queues from the proposed drive-thru would be expected to extend beyond the provided storage distance. Therefore, a literature review and field observations were completed to understand expected queueing lengths for the proposed coffee shop. Observations were completed at an existing Starbucks in Roseville, MN and the existing Caribou Coffee Cabin at 2351 County Road 42 W in Burnsville during the weekday morning peak hour.

According to the *Drive-Through Queue Generation Study* completed by Counting Cars in 2012, maximum queues at a coffee shop can extend to 16 vehicles, with an 85th percentile queue of 14 vehicles. Drive-thru queuing observations from the existing Starbucks location indicate a maximum of 15 vehicles and an approximate 85th percentile of 13 vehicles during those peak hours, which is consistent with the *Drive-Through Queue Generation Study*. Additionally, on average there were approximately 10 vehicles queued at the Starbucks. Note, the maximum observed queues typically lasted for less than one (1) minute in duration. At the existing Caribou Cabin in Burnsville, there were maximum queues of six (6) vehicles and average queues of four (4) vehicles, which is less than the observed queueing at Starbucks and the *Drive-Through Queue Generation Study*. However, this location is near a high concentration of retail that may not be open during the morning peak hours, and therefore, may be underrepresenting the peak queues of the site which likely occur later in the day.

Based on the site plan provided, there is room for 9 vehicles to queue within the drive-thru lane before impacting the internal parking lot circulation, and room for 19 vehicles to queue within the site before spilling into the external parking lot. Therefore, it is expected that the proposed drive-thru will accommodate all the expected drive-thru queues at the site, and no vehicles are expected to queue beyond the internal site and into the external parking lot or to Larpenteur Avenue.

Conclusions and Recommendations

The following study conclusions and recommendations are offered for consideration:

- 1) Results of the existing operations analysis indicate that the study intersection currently operates at an acceptable overall LOS A during the a.m. and midday peak hours. No significant side-street delays or queuing issues were observed at the study intersections.
- 2) The proposed development includes a 650 SF coffee shop with a drive-through and no indoor seating. The primary access to the proposed development is located on Larpenteur Avenue via an access driveway located approximately 125 feet east of Underwood Street. The development also is connected to the Amber Union building, which contains affordable residential and commercial uses.
- 3) Results of the trip generation estimates indicate the proposed development site is expected to generate 76 weekday a.m. peak hour, 54 weekday midday peak hour, and 760 weekday daily trips.
 - a. However, 89 percent of trips generated by this land use are expected to be pass-by/diverted-link trips that already existing along the study area roadways.
 - b. Therefore, the proposed development is expected to generate 8 weekday a.m. peak hour, 6 weekday midday peak hour, and 84 weekday daily trips that are new to the study area.
- 4) Results of the year 2025 build intersection capacity analysis indicate that the study intersection and proposed access locations are expected to continue to operate at an acceptable overall LOS A during the a.m. and midday peak hours.
 - a. There are not expected to be any internal queuing issues entering or exiting the proposed development along Larpenteur Avenue. The northbound average and 95th percentile queues exiting the site are expected to be one (1) and three (3) vehicles, respectively. The westbound left turn along Larpenteur Avenue is expected to have a maximum queue of one (1) vehicle during the a.m. and midday peak hours.
- 5) The proposed Caribou Coffee Cabin is expected to accommodate all drive-thru queues at the site, and no peak hour trips are expected to queue beyond the storage provided.

To: Hannah Lynch, City of Falcon Heights

From: Dan Elenbaas, P.E., Kimley-Horn

Date: March 17, 2023

Subj: Caribou Cabin
Falcon Heights, MN
Stormwater Management Memorandum

Buhl Larpenteur West LLC proposes to develop a stand-alone coffee shop with a drive through. This site is adjacent to the Amber Union Development and will disturb a portion of the existing Parcel 1. The plan proposes a 630 SF building with 10 parking stalls and a drive through lane for the coffee shop. There will be a patio area for outdoor seating and a walk-up window for ordering.

Kimley-Horn has analyzed the drainage conditions of the site and provides computations for applicable CRWD stormwater requirements in this memorandum. The analysis of existing and proposed drainage models was completed using HydroCAD, Version 10.00, a computer aided design system for modeling the hydrology and hydraulics of stormwater runoff. These calculations are largely based on the hydrology techniques developed by the Soil Conservation Service (SCS/NRCS), combined with other hydrology and hydraulics calculations. All calculations and hydrographs are provided in the appendix of this memorandum.

Existing Conditions

The existing site is an asphalt parking lot with its drainage patterns flowing to the east and southeast. There are landscape islands within the existing parking lot providing pervious area in the lot. The site surface flows to low points of existing catch basins and curb cuts that lead to existing BMPs.

The existing hydrocad model can be found in the appendix.

Proposed Conditions

The proposed plan will have asphalt and concrete surfaces with curb that will convey drainage to similar patterns that are in the existing conditions. There will be additional landscape areas around the building and within the proposed site. The proposed condition creates more pervious area than the existing condition within the site boundary. The existing BMPs within and around the Amber Union Development will not be modified in the proposed plan.

The proposed hydrocad model can be found in the appendix.

City of Falcon Heights Stormwater Management Requirements

The City provides requirements for rate control. Below is a summary of the existing and proposed runoff rates for the proposed project.

Drainage Area Summary (1.90 acres)			
	2-Year	10-Year	100-Year (7.45")
Pre-Development Rate	3.99 cfs	7.45 cfs	15.83 cfs
Post-Development Rate	3.79 cfs	7.21 cfs	15.57 cfs

In conclusion, this project will not be increasing the existing runoff rates which meet the requirements for the City of Falcon Heights.

Please contact me at (763) 251-1011 if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



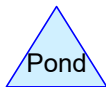
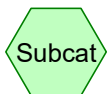
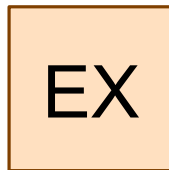
Dan Elenbaas, P.E.

Appendix:

- Existing Conditions HydroCAD Model
- Proposed Conditions HydroCAD Model

EXISTING CONDITIONS
HYDROCAD MODEL

Existing



Routing Diagram for Caribou Cabin - Falcon Heights, MN
Prepared by Kimley-Horn & Associates, Printed 3/16/2023
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Caribou Cabin - Falcon Heights, MN

Prepared by Kimley-Horn & Associates

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Page 2

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	MSE - 1 YR	MSE 24-hr	3	Default	24.00	1	2.45	2
2	MSE-100YR	MSE 24-hr	3	Default	24.00	1	7.45	2
3	MSE-10YR	MSE 24-hr	3	Default	24.00	1	4.20	2
4	MSE-2YR	MSE 24-hr	3	Default	24.00	1	2.81	2

Caribou Cabin - Falcon Heights, MN

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Page 3

Area Listing (selected nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.730	61	>75% Grass cover, Good, HSG B (V-DA1)
1.170	98	Paved parking, HSG B (V-DA1)
1.900	84	TOTAL AREA

Caribou Cabin - Falcon Heights, MN

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Page 4

Soil Listing (selected nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
1.900	HSG B	V-DA1
0.000	HSG C	
0.000	HSG D	
0.000	Other	
1.900		TOTAL AREA

Caribou Cabin - Falcon Heights, MN

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Ground Covers (selected nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.730	0.000	0.000	0.000	0.730	>75% Grass cover, Good	V-DA1
0.000	1.170	0.000	0.000	0.000	1.170	Paved parking	V-DA1
0.000	1.900	0.000	0.000	0.000	1.900	TOTAL AREA	

Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE - 1 YR Rainfall=2.45"

Prepared by Kimley-Horn & Associates

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentV-DA1:

Runoff Area=1.900 ac 61.58% Impervious Runoff Depth=1.08"
Tc=7.0 min CN=84 Runoff=3.15 cfs 0.171 af

Reach EX:

Inflow=3.15 cfs 0.171 af
Outflow=3.15 cfs 0.171 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.171 af Average Runoff Depth = 1.08"
38.42% Pervious = 0.730 ac 61.58% Impervious = 1.170 ac

Summary for Subcatchment V-DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 3.15 cfs @ 12.14 hrs, Volume= 0.171 af, Depth= 1.08"
 Routed to Reach EX :

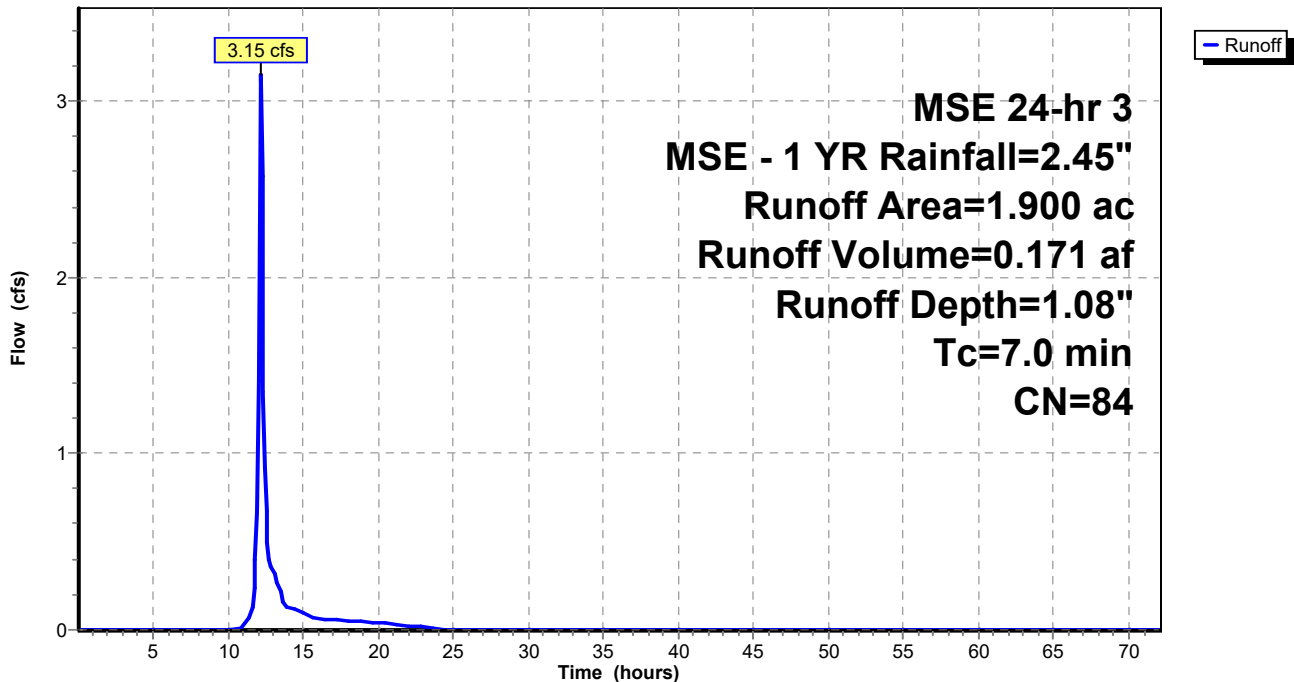
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE - 1 YR Rainfall=2.45"

Area (ac)	CN	Description
1.170	98	Paved parking, HSG B
0.730	61	>75% Grass cover, Good, HSG B
1.900	84	Weighted Average
0.730	61	38.42% Pervious Area
1.170	98	61.58% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment V-DA1:

Hydrograph



Summary for Reach EX:

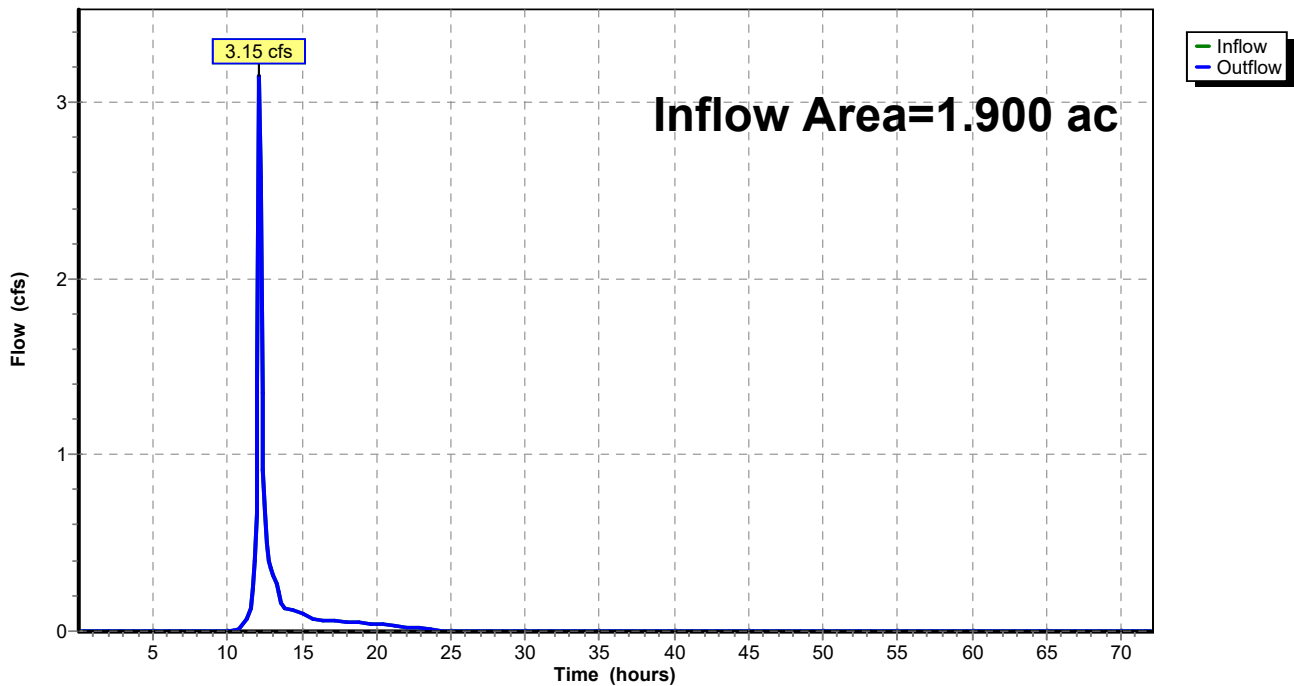
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 61.58% Impervious, Inflow Depth = 1.08" for MSE - 1 YR event
Inflow = 3.15 cfs @ 12.14 hrs, Volume= 0.171 af
Outflow = 3.15 cfs @ 12.14 hrs, Volume= 0.171 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach EX:

Hydrograph



Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE-100YR Rainfall=7.45"

Prepared by Kimley-Horn & Associates

Printed 3/16/2023

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentV-DA1:

Runoff Area=1.900 ac 61.58% Impervious Runoff Depth=5.57"
Tc=7.0 min CN=84 Runoff=15.83 cfs 0.882 af

Reach EX:

Inflow=15.83 cfs 0.882 af
Outflow=15.83 cfs 0.882 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.882 af Average Runoff Depth = 5.57"
38.42% Pervious = 0.730 ac 61.58% Impervious = 1.170 ac

Summary for Subcatchment V-DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 15.83 cfs @ 12.13 hrs, Volume= 0.882 af, Depth= 5.57"
 Routed to Reach EX :

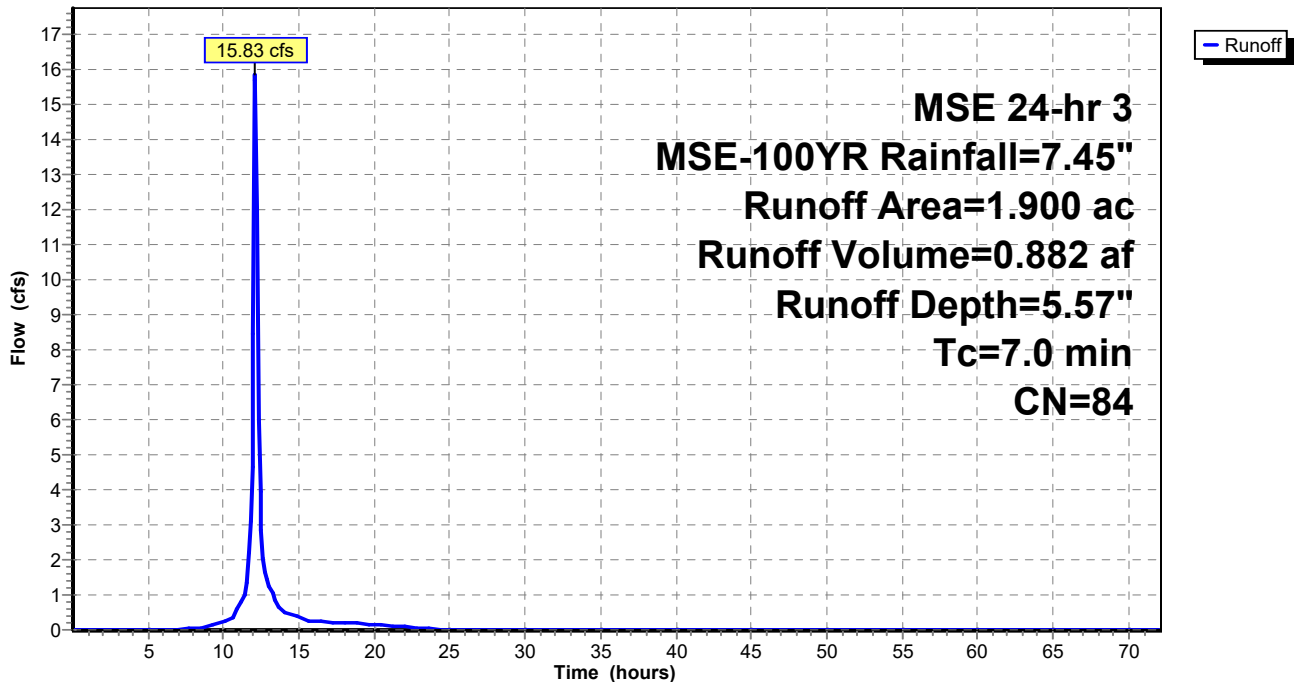
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE-100YR Rainfall=7.45"

Area (ac)	CN	Description
1.170	98	Paved parking, HSG B
0.730	61	>75% Grass cover, Good, HSG B
1.900	84	Weighted Average
0.730	61	38.42% Pervious Area
1.170	98	61.58% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment V-DA1:

Hydrograph



Summary for Reach EX:

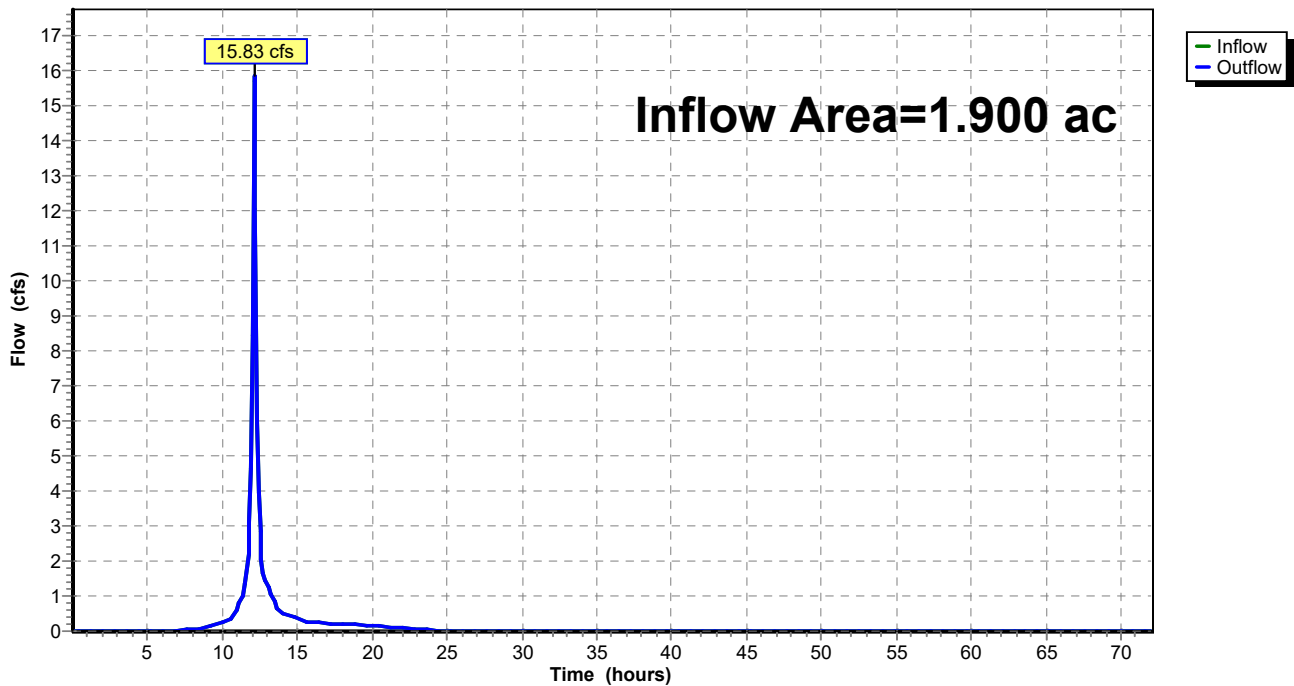
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 61.58% Impervious, Inflow Depth = 5.57" for MSE-100YR event
Inflow = 15.83 cfs @ 12.13 hrs, Volume= 0.882 af
Outflow = 15.83 cfs @ 12.13 hrs, Volume= 0.882 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach EX:

Hydrograph



Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE-10YR Rainfall=4.20"

Prepared by Kimley-Horn & Associates

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentV-DA1:

Runoff Area=1.900 ac 61.58% Impervious Runoff Depth=2.55"
Tc=7.0 min CN=84 Runoff=7.45 cfs 0.403 af

Reach EX:

Inflow=7.45 cfs 0.403 af
Outflow=7.45 cfs 0.403 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.403 af Average Runoff Depth = 2.55"
38.42% Pervious = 0.730 ac 61.58% Impervious = 1.170 ac

Summary for Subcatchment V-DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 7.45 cfs @ 12.13 hrs, Volume= 0.403 af, Depth= 2.55"
 Routed to Reach EX :

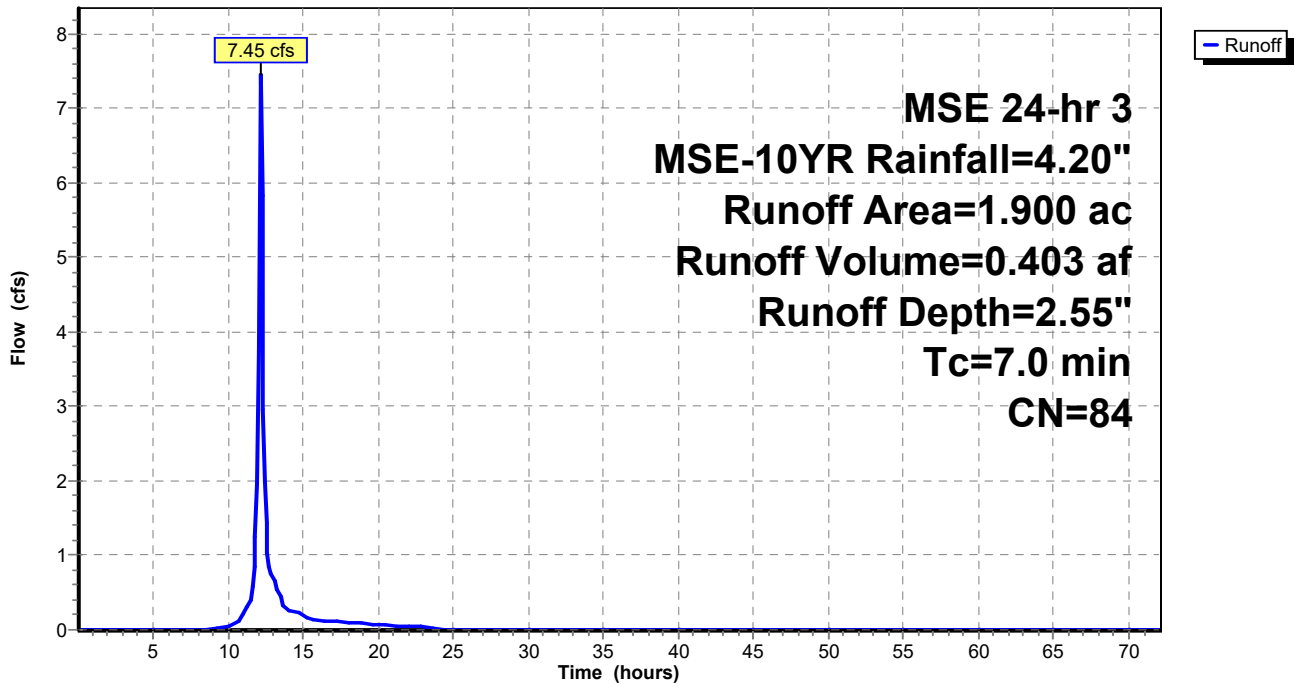
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE-10YR Rainfall=4.20"

Area (ac)	CN	Description
1.170	98	Paved parking, HSG B
0.730	61	>75% Grass cover, Good, HSG B
1.900	84	Weighted Average
0.730	61	38.42% Pervious Area
1.170	98	61.58% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment V-DA1:

Hydrograph



Summary for Reach EX:

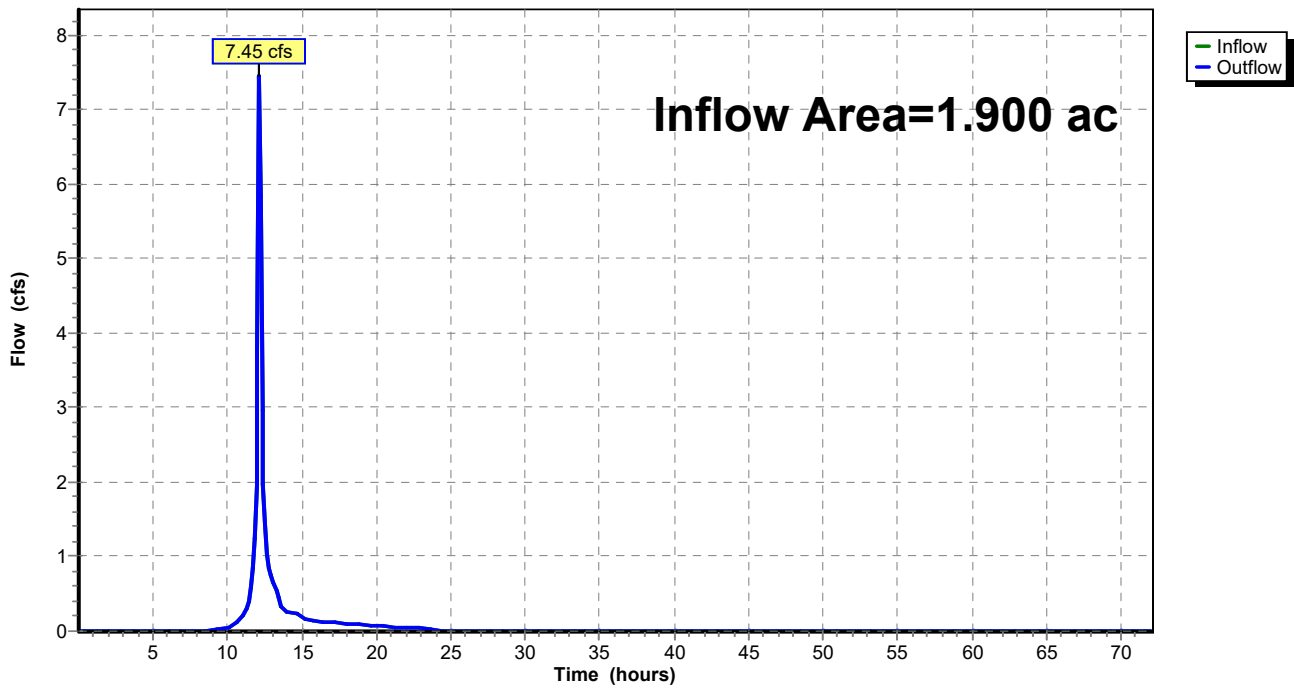
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 61.58% Impervious, Inflow Depth = 2.55" for MSE-10YR event
Inflow = 7.45 cfs @ 12.13 hrs, Volume= 0.403 af
Outflow = 7.45 cfs @ 12.13 hrs, Volume= 0.403 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach EX:

Hydrograph



Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE-2YR Rainfall=2.81"

Prepared by Kimley-Horn & Associates

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentV-DA1:

Runoff Area=1.900 ac 61.58% Impervious Runoff Depth=1.36"
Tc=7.0 min CN=84 Runoff=3.99 cfs 0.216 af

Reach EX:

Inflow=3.99 cfs 0.216 af
Outflow=3.99 cfs 0.216 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.216 af Average Runoff Depth = 1.36"
38.42% Pervious = 0.730 ac 61.58% Impervious = 1.170 ac

Summary for Subcatchment V-DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 3.99 cfs @ 12.13 hrs, Volume= 0.216 af, Depth= 1.36"
 Routed to Reach EX :

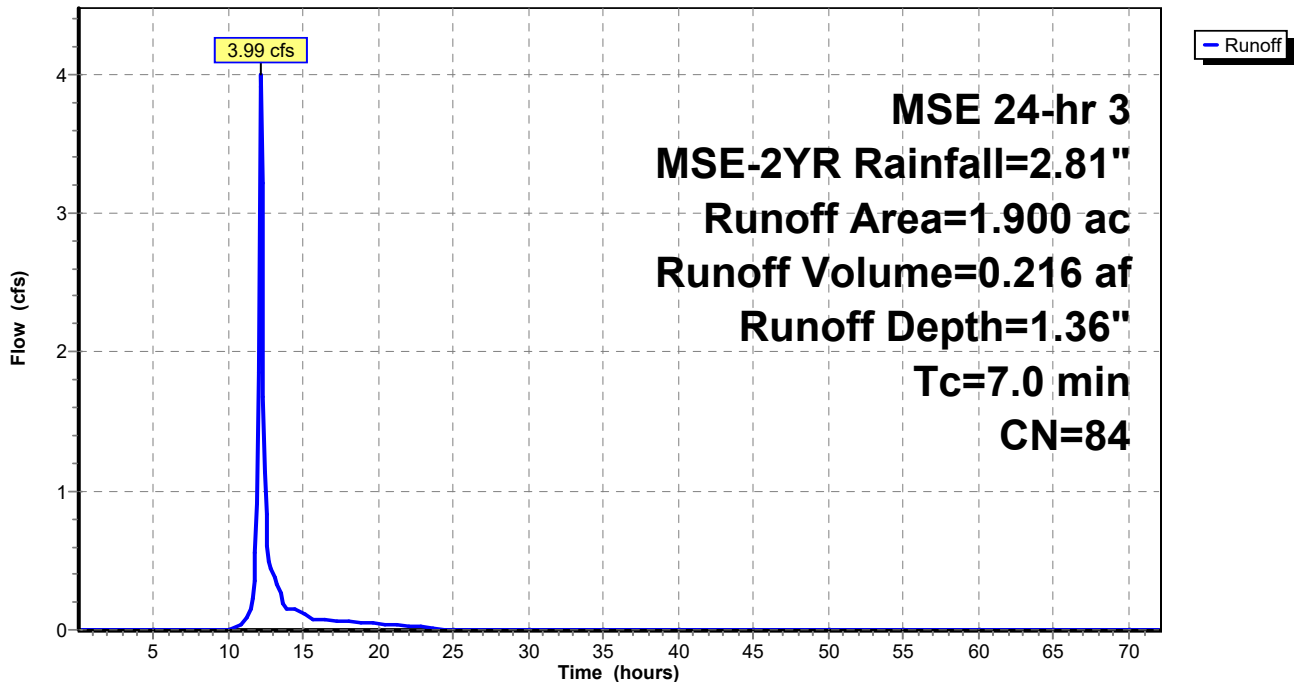
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE-2YR Rainfall=2.81"

Area (ac)	CN	Description
1.170	98	Paved parking, HSG B
0.730	61	>75% Grass cover, Good, HSG B
1.900	84	Weighted Average
0.730	61	38.42% Pervious Area
1.170	98	61.58% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment V-DA1:

Hydrograph



Summary for Reach EX:

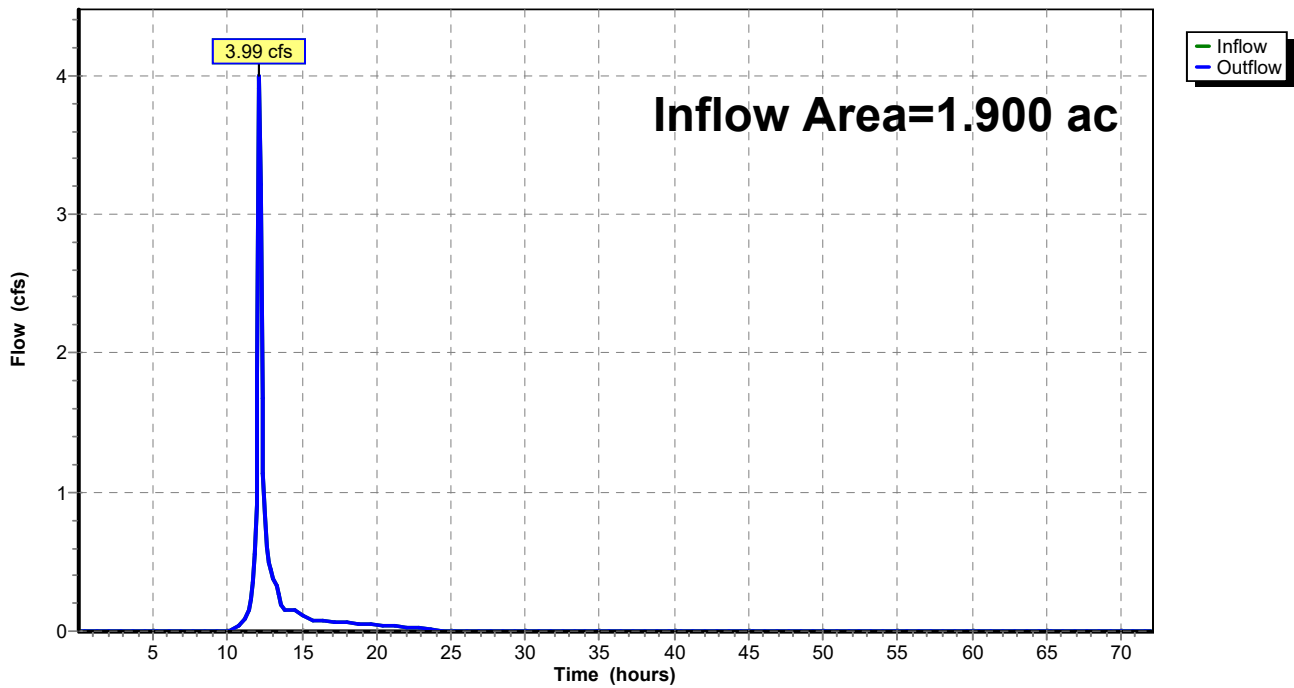
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 61.58% Impervious, Inflow Depth = 1.36" for MSE-2YR event
Inflow = 3.99 cfs @ 12.13 hrs, Volume= 0.216 af
Outflow = 3.99 cfs @ 12.13 hrs, Volume= 0.216 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

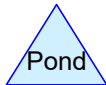
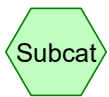
Reach EX:

Hydrograph



PROPOSED CONDITIONS

HYDROCAD MODEL



Routing Diagram for Caribou Cabin - Falcon Heights, MN
Prepared by Kimley-Horn & Associates, Printed 3/16/2023
HydroCAD® 10.20-2b s/n 02344 © 2021 HydroCAD Software Solutions LLC

Caribou Cabin - Falcon Heights, MN

Prepared by Kimley-Horn & Associates

HydroCAD® 10.20-2b s/n 02344 © 2021 HydroCAD Software Solutions LLC

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Page 2

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	MSE - 1 YR	MSE 24-hr	3	Default	24.00	1	2.45	2
2	MSE-100YR	MSE 24-hr	3	Default	24.00	1	7.45	2
3	MSE-10YR	MSE 24-hr	3	Default	24.00	1	4.20	2
4	MSE-2YR	MSE 24-hr	3	Default	24.00	1	2.81	2

Caribou Cabin - Falcon Heights, MN

Prepared by Kimley-Horn & Associates

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Page 3

Area Listing (selected nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.780	61	>75% Grass cover, Good, HSG B (DA1)
1.120	98	Paved parking, HSG B (DA1)
1.900	83	TOTAL AREA

Caribou Cabin - Falcon Heights, MN

Prepared by Kimley-Horn & Associates

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Page 4

Soil Listing (selected nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
1.900	HSG B	DA1
0.000	HSG C	
0.000	HSG D	
0.000	Other	
1.900		TOTAL AREA

Caribou Cabin - Falcon Heights, MN

Prepared by Kimley-Horn & Associates

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Page 5

Ground Covers (selected nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.780	0.000	0.000	0.000	0.780	>75% Grass cover, Good	DA1
0.000	1.120	0.000	0.000	0.000	1.120	Paved parking	DA1
0.000	1.900	0.000	0.000	0.000	1.900	TOTAL AREA	

Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE - 1 YR Rainfall=2.45"

Prepared by Kimley-Horn & Associates

Printed 3/16/2023

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Page 6

Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentDA1:

Runoff Area=1.900 ac 58.95% Impervious Runoff Depth=1.02"
Tc=7.0 min CN=83 Runoff=2.96 cfs 0.161 af

Reach PR:

Inflow=2.96 cfs 0.161 af
Outflow=2.96 cfs 0.161 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.161 af Average Runoff Depth = 1.02"
41.05% Pervious = 0.780 ac 58.95% Impervious = 1.120 ac

Summary for Subcatchment DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 2.96 cfs @ 12.14 hrs, Volume= 0.161 af, Depth= 1.02"
 Routed to Reach PR :

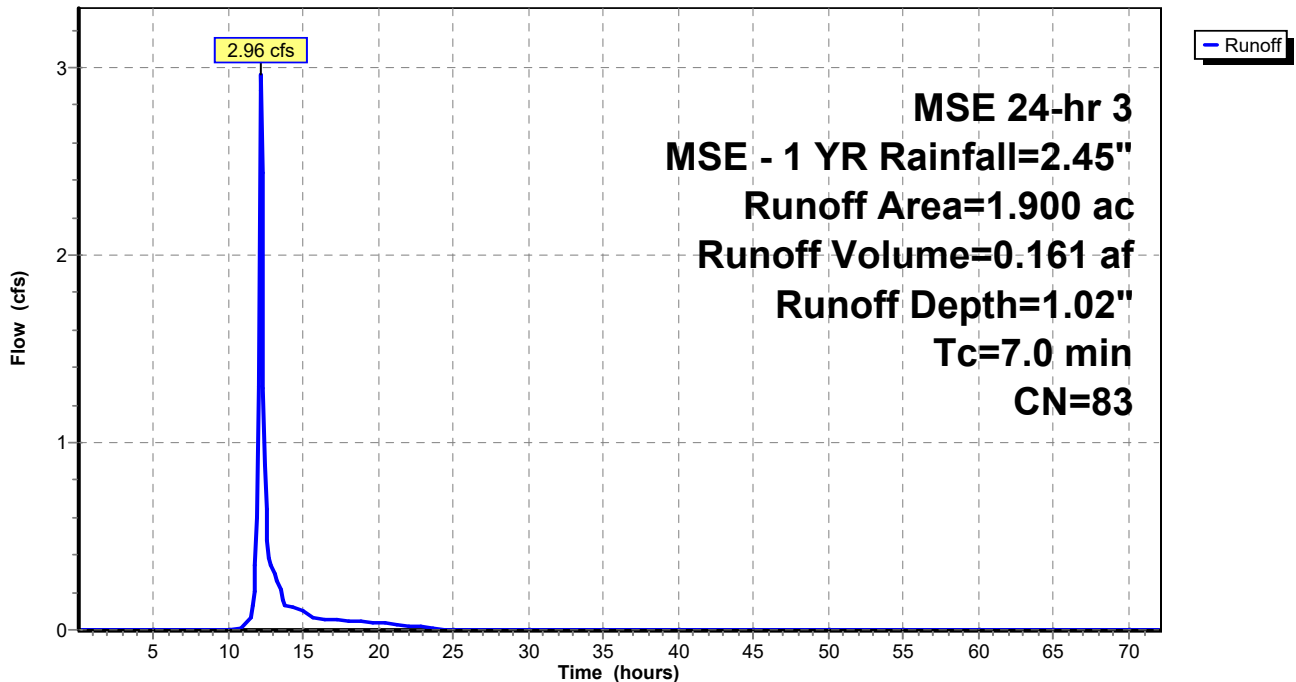
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE - 1 YR Rainfall=2.45"

Area (ac)	CN	Description
1.120	98	Paved parking, HSG B
0.780	61	>75% Grass cover, Good, HSG B
1.900	83	Weighted Average
0.780	61	41.05% Pervious Area
1.120	98	58.95% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment DA1:

Hydrograph



Summary for Reach PR:

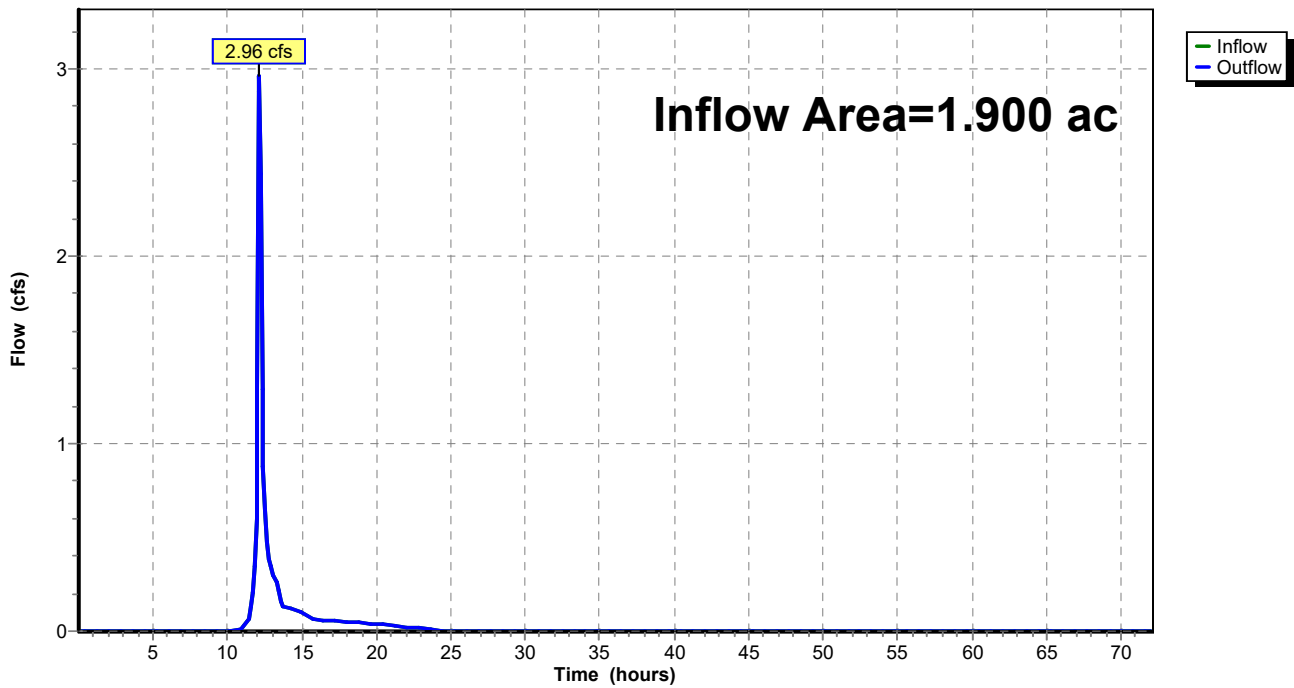
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 58.95% Impervious, Inflow Depth = 1.02" for MSE - 1 YR event
Inflow = 2.96 cfs @ 12.14 hrs, Volume= 0.161 af
Outflow = 2.96 cfs @ 12.14 hrs, Volume= 0.161 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach PR:

Hydrograph



Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE-100YR Rainfall=7.45"

Prepared by Kimley-Horn & Associates

Printed 3/16/2023

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentDA1:

Runoff Area=1.900 ac 58.95% Impervious Runoff Depth=5.45"
Tc=7.0 min CN=83 Runoff=15.57 cfs 0.864 af

Reach PR:

Inflow=15.57 cfs 0.864 af
Outflow=15.57 cfs 0.864 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.864 af Average Runoff Depth = 5.45"
41.05% Pervious = 0.780 ac 58.95% Impervious = 1.120 ac

Summary for Subcatchment DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 15.57 cfs @ 12.13 hrs, Volume= 0.864 af, Depth= 5.45"
 Routed to Reach PR :

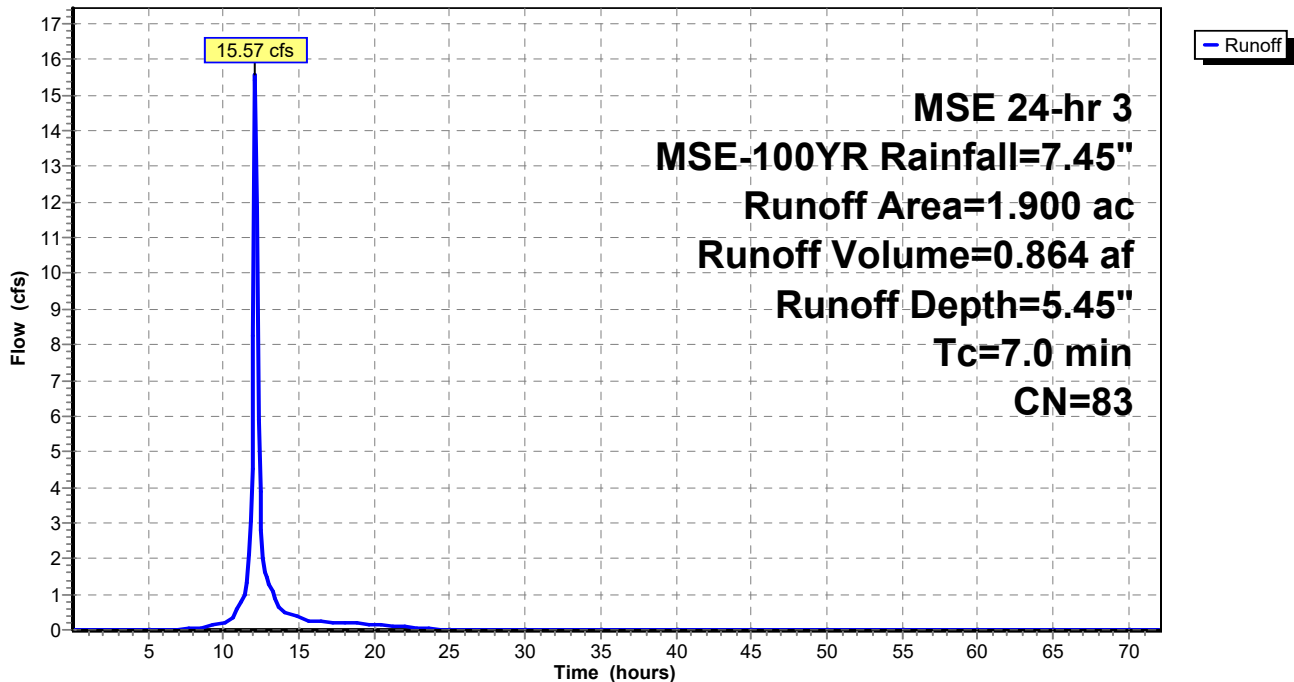
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE-100YR Rainfall=7.45"

Area (ac)	CN	Description
1.120	98	Paved parking, HSG B
0.780	61	>75% Grass cover, Good, HSG B
1.900	83	Weighted Average
0.780	61	41.05% Pervious Area
1.120	98	58.95% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment DA1:

Hydrograph



Summary for Reach PR:

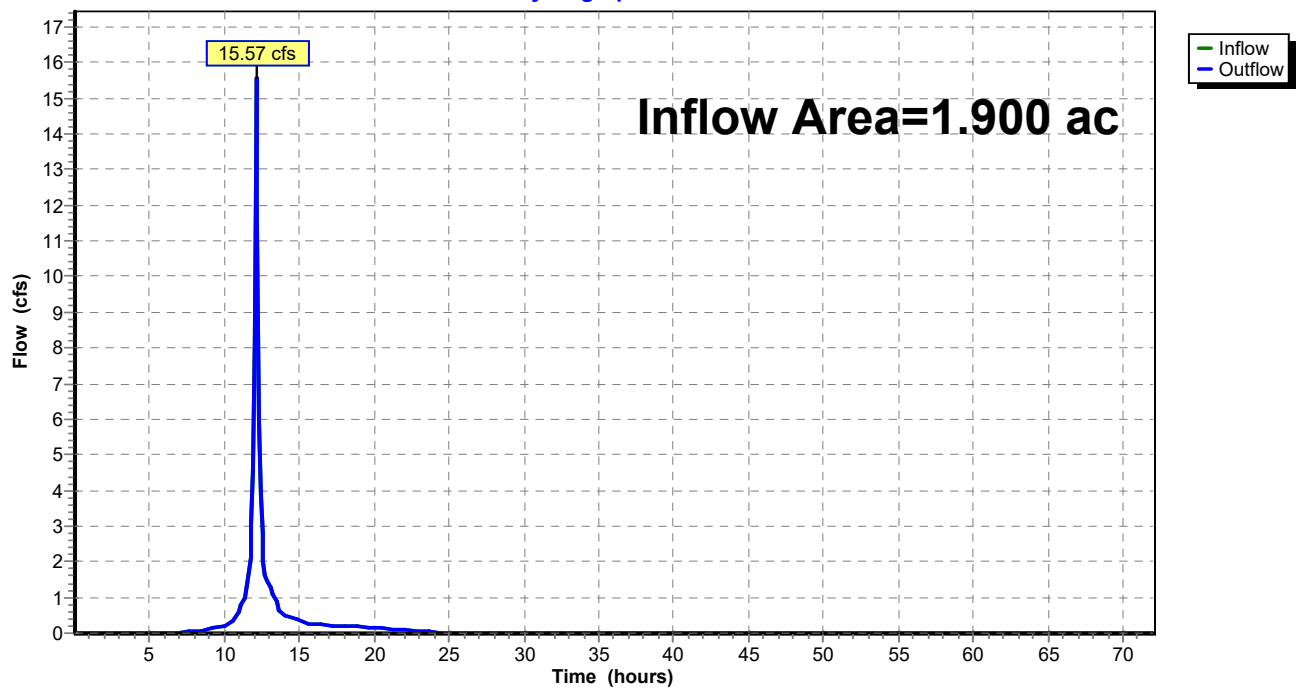
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 58.95% Impervious, Inflow Depth = 5.45" for MSE-100YR event
Inflow = 15.57 cfs @ 12.13 hrs, Volume= 0.864 af
Outflow = 15.57 cfs @ 12.13 hrs, Volume= 0.864 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach PR:

Hydrograph



Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE-10YR Rainfall=4.20"

Prepared by Kimley-Horn & Associates

Printed 3/16/2023

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentDA1:

Runoff Area=1.900 ac 58.95% Impervious Runoff Depth=2.46"
Tc=7.0 min CN=83 Runoff=7.21 cfs 0.390 af

Reach PR:

Inflow=7.21 cfs 0.390 af
Outflow=7.21 cfs 0.390 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.390 af Average Runoff Depth = 2.46"
41.05% Pervious = 0.780 ac 58.95% Impervious = 1.120 ac

Summary for Subcatchment DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 7.21 cfs @ 12.13 hrs, Volume= 0.390 af, Depth= 2.46"
 Routed to Reach PR :

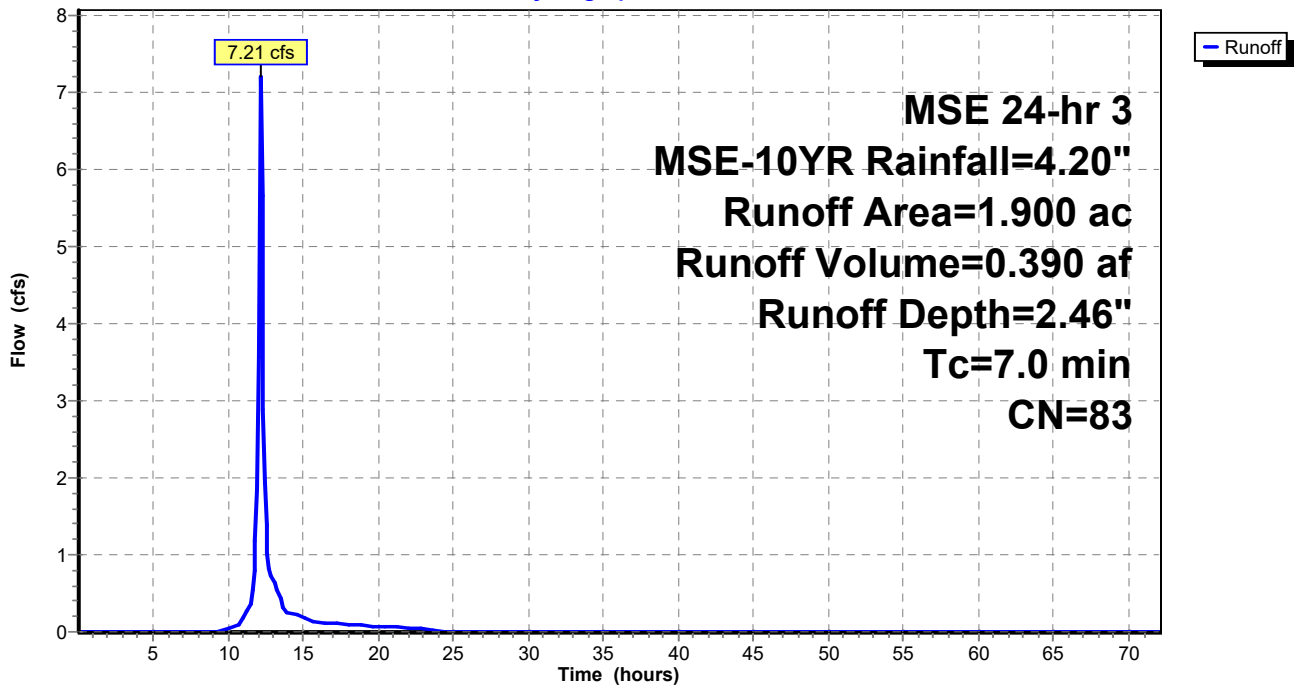
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE-10YR Rainfall=4.20"

Area (ac)	CN	Description
1.120	98	Paved parking, HSG B
0.780	61	>75% Grass cover, Good, HSG B
1.900	83	Weighted Average
0.780	61	41.05% Pervious Area
1.120	98	58.95% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment DA1:

Hydrograph



Summary for Reach PR:

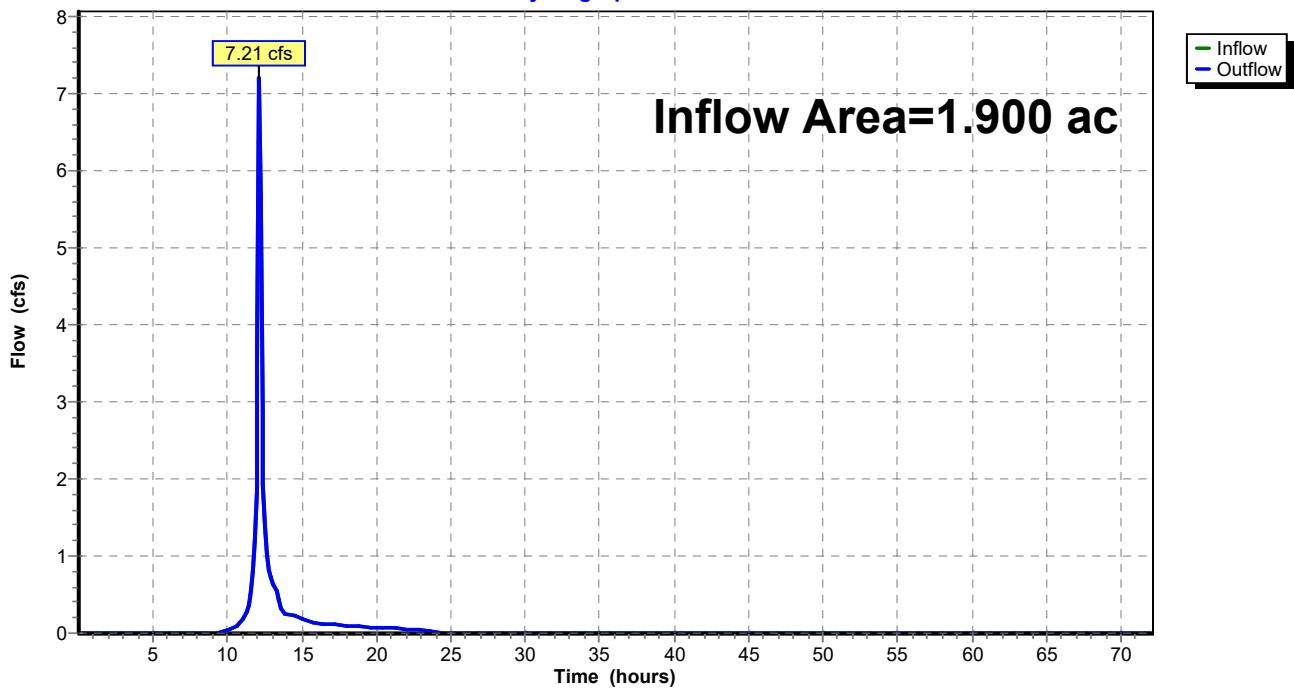
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 58.95% Impervious, Inflow Depth = 2.46" for MSE-10YR event
Inflow = 7.21 cfs @ 12.13 hrs, Volume= 0.390 af
Outflow = 7.21 cfs @ 12.13 hrs, Volume= 0.390 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach PR:

Hydrograph



Caribou Cabin - Falcon Heights, MN

MSE 24-hr 3 MSE-2YR Rainfall=2.81"

Prepared by Kimley-Horn & Associates

Printed 3/16/2023

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Time span=0.01-72.00 hrs, dt=0.10 hrs, 721 points x 3
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

SubcatchmentDA1:

Runoff Area=1.900 ac 58.95% Impervious Runoff Depth=1.30"
Tc=7.0 min CN=83 Runoff=3.79 cfs 0.205 af

Reach PR:

Inflow=3.79 cfs 0.205 af
Outflow=3.79 cfs 0.205 af

Total Runoff Area = 1.900 ac Runoff Volume = 0.205 af Average Runoff Depth = 1.30"
41.05% Pervious = 0.780 ac 58.95% Impervious = 1.120 ac

Summary for Subcatchment DA1:

[49] Hint: Tc<2dt may require smaller dt

Runoff = 3.79 cfs @ 12.14 hrs, Volume= 0.205 af, Depth= 1.30"
 Routed to Reach PR :

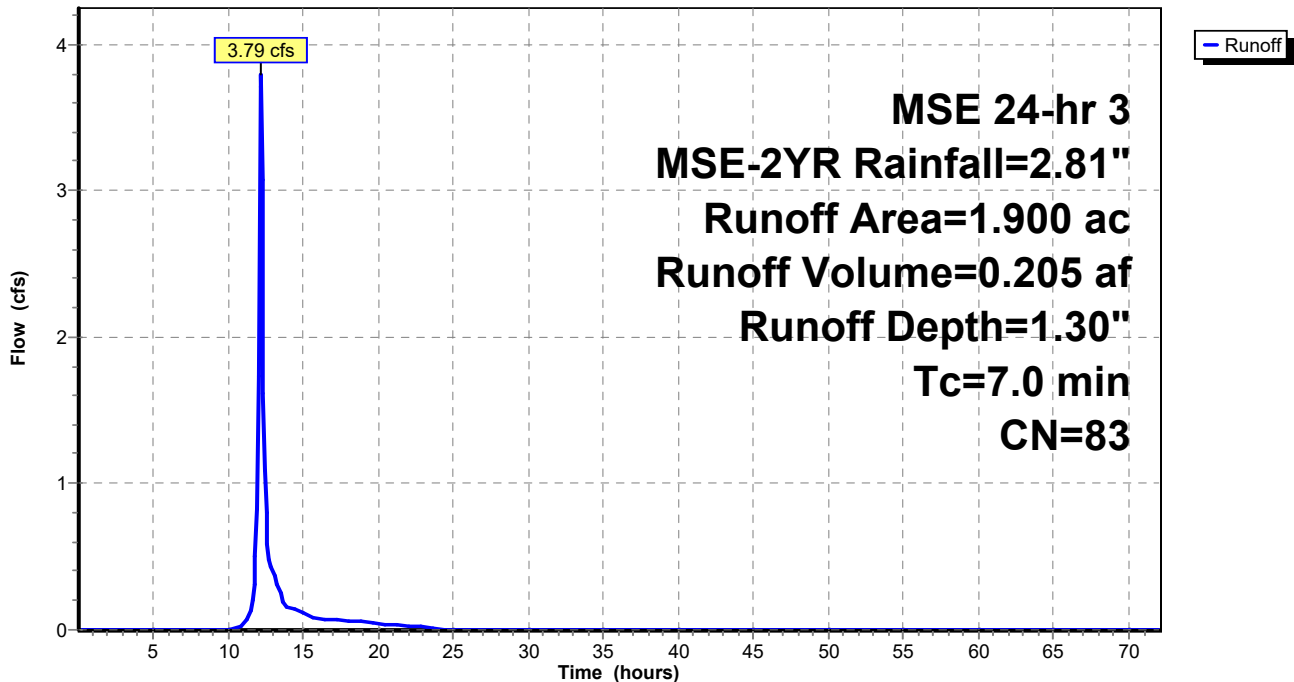
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs
 MSE 24-hr 3 MSE-2YR Rainfall=2.81"

Area (ac)	CN	Description
1.120	98	Paved parking, HSG B
0.780	61	>75% Grass cover, Good, HSG B
1.900	83	Weighted Average
0.780	61	41.05% Pervious Area
1.120	98	58.95% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

Subcatchment DA1:

Hydrograph



Summary for Reach PR:

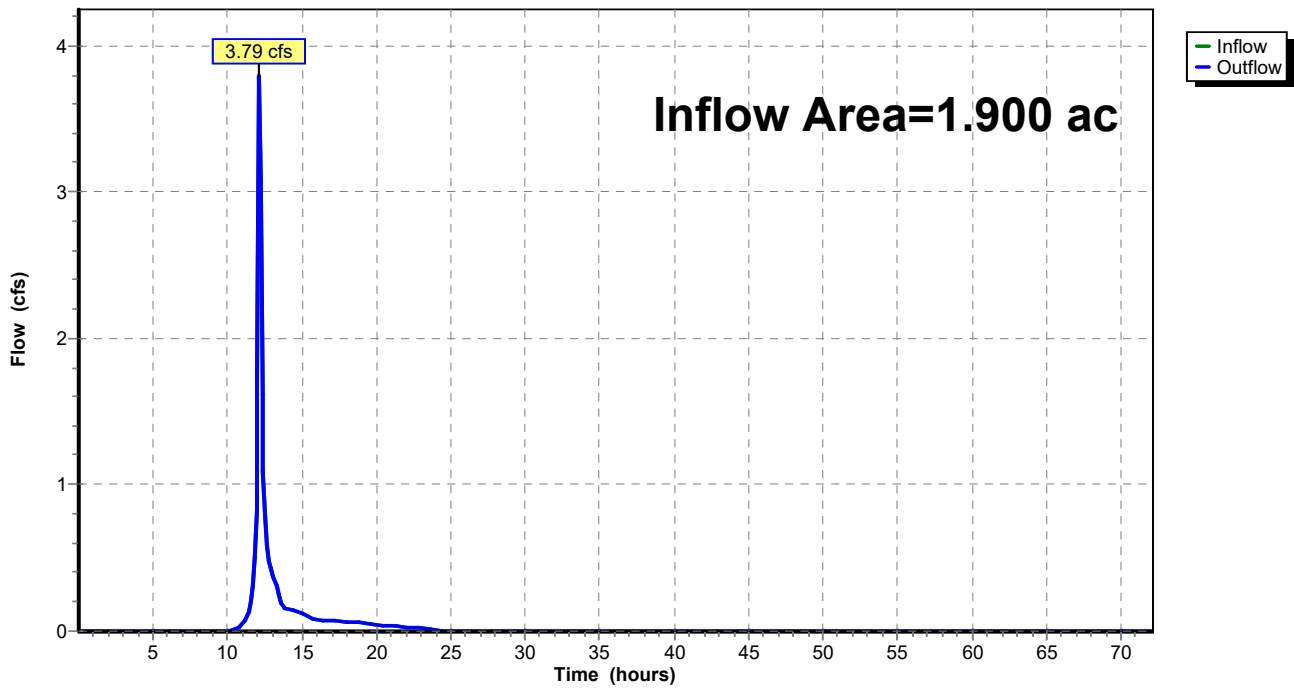
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 1.900 ac, 58.95% Impervious, Inflow Depth = 1.30" for MSE-2YR event
Inflow = 3.79 cfs @ 12.14 hrs, Volume= 0.205 af
Outflow = 3.79 cfs @ 12.14 hrs, Volume= 0.205 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.01-72.01 hrs, dt= 0.10 hrs / 3

Reach PR:

Hydrograph



CITY OF FALCON HEIGHTS, MINNESOTA

PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN, that the Planning Commission at its regular meeting at 7:00 p.m. on March 28, 2023, in the City Hall Council Chambers, 2077 W. Larpenteur Ave, will hold a public hearing to consider the application of Buhl Larpenteur West LLC to amend City Code to allow drive-through facilities for eating establishments as part of a Planned Unit Development (PUD), and to amend the existing Amber Union PUD.

The application and other planning documents will be available upon request no later than March 24, 2023. It will also be available on the City's website at www.falconheights.org. If you have any questions regarding the public hearing, please contact Hannah Lynch, Community Development Coordinator at (651) 792-7613 or hannah.b.lynch@falconheights.org.

Dated: March 16, 2023

Hannah B. Lynch, Community Development Coordinator
City of Falcon Heights, Minnesota

CITY of FALCON HEIGHTS
PUBLIC HEARING NOTICE

Notice is hereby given that the Planning Commission at its regular meeting at 7:00 p.m. on March 28, 2023, in the City Hall Council Chambers, 2077 W. Larpenteur Ave, will hold a public hearing to consider the application of Buhl Larpenteur West LLC to amend City Code to allow drive-through facilities for eating establishments as part of a Planned Unit Development (PUD), and to amend the existing Amber Union PUD.

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To be published on March 16 and 18, 2023 in the Pioneer Press.

**AFFIDAVIT OF PUBLICATION
STATE OF MINNESOTA
COUNTY OF RAMSEY**

Kayla Tsuchiya, being duly sworn on oath, says: that she is, and during all times herein state has been, Inside Sales Representative of Northwest Publication, LLC., Publisher of the newspaper known as the Saint Paul Pioneer Press, a newspaper of General circulation within the City of St. Paul and the surrounding Counties of Minnesota and Wisconsin including Ramsey and Kanabec.

That the notice hereto attached was cut from the columns of said newspaper and was printed and published therein on the following date(s):

Thursday, March 16, 2023

Saturday, March 18, 2023

Newspaper Ref./AD Number#: 71500777

Client/Advertiser: City of Falcon Heights

Kayla Tsuchiya

Kayla Tsuchiya (Mar 20, 2023 12:55 CDT)

AFFIANT SIGNATURE

**Subscribed and sworn to before me this
20th day of March, 2023**

True Lee


True Lee (Mar 20, 2023 13:29 CDT)

NOTARY PUBLIC

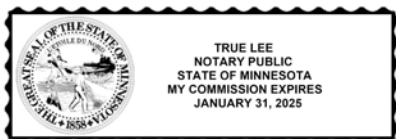
Ramsey County, MN

My commission expires January 31, 2025

**CITY of FALCON
HEIGHTS
PUBLIC HEARING
NOTICE**

Notice is hereby given that the Planning Commission at its regular meeting at 7:00 p.m. on March 28, 2023, in the City Hall Council Chambers, 2077 W. Larpenteur Ave, will hold a public hearing to consider the application of Buhl Larpenteur West LLC to amend City Code to allow drive-through facilities for eating establishments as part of a Planned Unit Development (PUD), and to amend the existing Amber Union PUD.

The application and other planning documents will be available upon request no later than March 24, 2023. It will also be available on the City's website. If you have any questions regarding the public hearing, please contact Hannah Lynch, Community Development Coordinator at (651) 792-7613 or hannah.b.lynch@falconheights.org.





CITY OF FALCON HEIGHTS

2077 Larpenteur Avenue W
Falcon Heights, MN 55113

THE CITY THAT SOARS!

P: 651-792-7600
F: 651-792-7610

March 15, 2023

Dear Property Owner:

You are cordially invited to a public hearing before the Falcon Heights Planning Commission for the purpose of taking public comment regarding the amendment of City Code to allow drive-through facilities for eating establishments as part of a Planned Unit Development (PUD), and to amend the existing Amber Union PUD.

Buhl Larpenteur West LLC has submitted an application to amend City Code to allow drive-through facilities for eating establishments as part of PUDs, and to amend the existing Amber Union PUD. Specifically, they are proposing to develop a stand alone 630 SF building on a total 1.78 acre site with a drive-through facility. The location of this development is PIN 212923110029, to the west of Amber Union apartments with a driveway along Larpenteur Avenue West.

The Planning Commission will meet and hold a Public Hearing on these matters on Tuesday, March 28, 2023 at 7:00 PM at Falcon Heights City Hall, 2077 Larpenteur Avenue West, Falcon Heights, MN 55113.

During the meeting on Tuesday, March 28, city staff will present information regarding the potential amendments to City Code and PUD. The Planning Commission will also hear public comment and discuss before making a recommendation to City Council.

The application and other planning documents will be available upon request no later than March 24, 2023. It will be also be available on the City's website. If you have questions or comments before the hearing, you may contact City Hall at 651-792-7600 or myself directly at hannah.b.lynch@falconheights.org.

Sincerely,

Hannah B. Lynch
City of Falcon Heights
Community Development Coordinator



March 15, 2023

Dear Resident:

You are cordially invited to a public hearing before the Falcon Heights Planning Commission for the purpose of taking public comment regarding the amendment of City Code to allow drive-through facilities for eating establishments as part of a Planned Unit Development (PUD), and to amend the existing Amber Union PUD.

Buhl Larpenteur West LLC has submitted an application to amend City Code to allow drive-through facilities for eating establishments as part of PUDs, and to amend the existing Amber Union PUD. Specifically, they are proposing to develop a stand alone 630 SF building on a total 1.78 acre site with a drive-through facility. The location of this development is PIN 212923110029, to the west of Amber Union apartments with a driveway along Larpenteur Avenue West.

The Planning Commission will meet and hold a Public Hearing on these matters on Tuesday, March 28, 2023 at 7:00 PM at Falcon Heights City Hall, 2077 Larpenteur Avenue West, Falcon Heights, MN 55113.

During the meeting on Tuesday, March 28, city staff will present information regarding the potential amendments to City Code and PUD. The Planning Commission will also hear public comment and discuss before making a recommendation to City Council.

The application and other planning documents will be available upon request no later than March 24, 2023. It will be also be available on the City's website. If you have questions or comments before the hearing, you may contact City Hall at 651-792-7600 or myself directly at hannah.b.lynch@falconheights.org.

Sincerely,

Hannah B. Lynch
City of Falcon Heights
Community Development Coordinator

Comments from Adrian Neis, Fire Marshal:

I did not see any major concerns from the Fire side on the site.

From the traffic side particularly during the fair and emergency access getting in would be my main concern.

Comments from Stephanie Smith, City Engineer:

We have reviewed the proposed plans for the project noted above and offer the following comments with regard to the project's impact on City services and/or infrastructure requirements:

1. The stormwater modeling submitted demonstrates rate reduction, therefore meets the stormwater management requirements for rates.
2. Applicant shall show the location of the concrete washout on erosion control plan.
3. Water would be provided by St. Paul Regional Water (SPRW) and is available on site for connection. SPRW detail plates shall be used for water utilities.
4. Applicant shall coordinate with SPRW for installation of watermain and services and shall meet their requirements.
5. Permits for installation of the watermain from the appropriate regulatory agencies will be required, including the SPRW, MPCA and the Dept. of Health.
6. Sanitary sewer is available in Larpenteur Avenue for connection. Applicant shall revise plans to include removals and restoration of disturbed right-of-way.
7. An approximately 180-foot long retaining wall is proposed along the western side of the parcel, such that the new site will sit higher than Underwood Street. If retaining wall exceeds 4-feet in height at any location, the wall plans shall be signed by a structural engineer licensed in the state of Minnesota.
8. Ramsey County right-of-way permit is required for work in the Larpenteur Avenue right-of-way.
9. As this parcel has access onto Larpenteur Avenue, the City has submitted the plans and traffic study to Ramsey County for review. The applicant shall meet Ramsey County requirements.
10. After site stabilization, the adjacent underground stormwater storage applicant shall inspect and clean, as needed, to remove any sediment that escaped the site during construction.
11. Applicant shall dedicate drainage and utility easements over the private watermain.
12. Applicant shall dedicate perimeter drainage and utility easements for PUD subject properties, to consist of 5-foot side-yard easements and 10-foot easements adjacent to public right-of-way.
13. Applicant shall revise plans to include a pedestrian connection from the internal walkway to Larpenteur Avenue's sidewalk.

Additionally, we have the following observations on drainage within their site. These would not impact City facilities.

- The proposed bituminous swale is going to dead end at a curb, which is ever so slightly lower than where the water needs to get to so it overflows. Staff would recommend valley gutter and allowing more tolerance for construction, since it will either drain better, or worse if the contractor doesn't build it perfectly.
- The general drainage pattern is likely to create icy conditions within the site during the fall, winter, and spring as water needs to overland flow to the valley gutter, south towards the drive thru, and then cross the drive thru lane to go out of the parcel. Note, maintenance of this condition shall be the responsibility of the property owner.

Sec. 113-35 - Amendments

- (a) *Initiation of amendments.* An amendment to this chapter may be initiated by the city council, the planning commission, or by petition of a property owner whose property would be affected by the proposed amendment.
- (b) *Application for amendment.* All applications for amendments initiated by a property owner shall be filed with the zoning administrator on an official application form. The application shall be accompanied by a fee established by city council resolution and a cash escrow, in an amount determined by the zoning administrator, to reimburse the city for all out-of-pocket costs the city may incur in reviewing the application. When the amendment involves the changing of zoning district boundaries, the application shall be accompanied by an abstractor's certified property certificate listing the property owners within 350 feet of the boundaries of the property to which the amendment relates.
- (c) *Public hearing.* When a proposed amendment to this chapter has been properly initiated, the city clerk shall call a public hearing before the planning commission. A notice of the time, place, and purpose of the hearing shall be published in the city's official newspaper at least ten days prior to the hearing. When an amendment involves changes in district boundaries affecting an area of five acres or less, a similar notice shall be mailed at least ten days before the date of the hearing to each owner of affected property and property situated wholly or partly within 350 feet of the property to which the amendment relates. The failure to give mailed notice to individual property owners, or defects in the notice shall not invalidate the proceeding, provided a bona fide attempt to comply has been made. The planning commission shall conduct the hearing and make a recommendation to the city council.
- (d) *Action by city council.* The city council shall not act upon a proposed amendment until it has received the recommendation of the planning commission or until 60 days after the first regular planning commission meeting at which the proposed amendment was considered.
- (e) *Consistency with comprehensive plan.* No amendment to this chapter shall be adopted which is in conflict with the city's comprehensive plan.
- (f) *Time deadline; approval requirements.* Pursuant to Minn. Stats. § 15.99, an application for an amendment must be approved or denied within 60 days from the date a properly completed application is received by the city unless the time period is waived by the applicant or extended as provided by statute. Approval of an amendment shall require a majority vote of all the members of the city council. Amendments which change all or part of the existing classification of a zoning district from residential to either commercial or industrial require a two-thirds majority vote of all members of city council.

(Code 1993, § 9-15.05; Ord. No. 97-06, § 1, 9-24-1997)

State Law reference – Amendments, Minn. Stats. § 462.357, subs. 2 – 4.

ORDINANCE NO. 23-__

CITY OF FALCON HEIGHTS
RAMSEY COUNTY, MINNESOTA

AN ORDINANCE AMENDING CHAPTER 113 OF THE FALCON HEIGHTS CITY
CODE CONCERNING DRIVE-THROUGH FACILITIES AND AMBER UNION PUD
THE CITY COUNCIL OF FALCON HEIGHTS ORDAINS:

SECTION 1. Section 113-3 of the City Code of Falcon Heights, Minnesota, is hereby amended to read as follows (Deletions are shown with a strikethrough. Additions are underlined):

Sec. 113-3 - Definitions

Drive-through facility means the use of land, buildings or structures, or parts thereof, to provide or dispense products or services, either wholly or in part, through an attendant or window or automated machine, to persons remaining in motorized vehicles that are in a designated stacking lane. ~~A drive-through facility may be permitted only as an accessory use in combination with a bank or financial institution.~~ A drive-through facility may be permitted as an accessory use in combination with a bank or financial institution. A drive-through facility for an eating establishment may be permitted only as part of a PUD. A drive-through facility does not include a vehicle washing facility, a vacuum cleaning station accessory to a vehicle washing facility, or an automobile/gasoline service station.

SECTION 2. Section 113-2-11 of the City Code of Falcon Heights, Minnesota, is hereby amended to read as follows (Deletions are shown with a strikethrough. Additions are underlined):

Sec. 113-211 – Amber Union planned unit development

- (a) *Legal description.* The legal description of this PUD is the North Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter, in section 21, township 29, range 23, Ramsey County, Minnesota, except that part taken for Snelling and Larpenteur Avenues. The East 250 feet of the North 500 feet except the West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23. The West 150 feet of the East 160 feet of the North 283 feet of the Northwest quarter of the Northeast quarter of the Northeast quarter of Section 21, Township 29, Range 23, West of the Fourth Principal Meridian.
- (b) *Purpose.* The purpose of the Amber Union planned unit development is to provide for the mixed uses of multi-family apartments and a retail space.
- (c) *Permitted uses and zoning regulations.* The R5-M mixed use high density residential district regulations shall apply to the property subject to the following modifications:
 - (1) Permitted uses: One principal structure consisting of 111,640 square feet and 89 apartment units and one principal structure consisting of 59,195 square feet, 39

apartment units, and one retail space. One eating establishment consisting of 630 square feet and an accessory drive-through facility, including all restrictions as outlined in section 113-252, except 113-252(1). Speaker for drive-through facility must be located no less than 100' from residential used property.

Commented [HBL1]: At 3/28/2023 PC Public Hearing, this incorrectly stated the speaker must be located no more than 100'. This was meant to have been no less than. That has been updated here for submission to City Council prior to their final decision.

- (2) No conditional uses.
- (3) No interim uses.
- (4) Setbacks as depicted in the site plan dated September 23, 2019 prepared by Kimley Horn and Mohagen Hansen.

(d) *Parking.* Vehicle parking shall be as follows:

- (1) 108 parking stalls as depicted on the Site Plan dated September 23, 2019 prepared by Kimley Horn.
- (2) 41 parking stalls as depicted on Exhibit A (Parking Easement) dated [insert date] prepared by Buhl GTA, recorded at Ramsey County as document number [insert number]-in the Easement Agreement (Parking and Ingress/Egress) by and between Buhl Larpenteur West, LLC and Buhl GTA, LP, dated July 1, 2021, recorded on June 30, 2021 in the Ramsey County Office of the Registrar of Titles as document number T02704513.
- (3) 10 parking stalls as depicted on Exhibit B dated (Encroachment Agreement) [insert date] prepared by the City of Falcon Heights, recorded at Ramsey County as document number [insert number]-in the Encroachment, Use and Maintenance Agreement (Parking Improvements) by, between and among the City of Falcon Heights, Buhl GTA, LP, Buhl GTA GP, LLC and Peter Deanovic, dated June 24, 2021, recorded on June 30, 2021 in the Ramsey County Office of the Registrar of Titles as document number T02704512.
- (4) At no time shall there be less than 149 parking stalls dedicated to the permitted uses of the Amber Union Planned Unit Development. A different arrangement of parking is subject to approval by the city administrator.

(e) *Development plan.* The PUD must be maintained in accordance with the following development plan, which is on file with the city and which is incorporated herein by reference.

- (1) The following plans prepared by Buhl GTA, LP and their contractors/partners with up to five percent variance as approved by the city administrator:
 - a. Site development plans, dated September 23, 2019 prepared by Kimley Horn and Mohagen Hansen including:
 1. Demo plan.
 2. Erosion and sediment control plan.
 3. Site plan.
 4. Grading plan.
 5. Storm sewer plan.

6. Utility plan.
7. Security plan.
- b. Security Plan, dated May 6, 2019 prepared by Kimley Horn and Mohagen Hansen
- c. Landscaping plans, dated July 15, 2019 prepared by Damon Farber.
 1. Tree protection plan.
 2. Landscape plan.
- d. Floor plans, dated September 23, 2019 prepared by Mohagen Hansen.
- e. Site development plans for Caribou Cabin – Falcon Heights, dated March 6, 2023 prepared by Kimley Horn and Mohagen Hansen including:
 1. Demo plan.
 2. Erosion and sediment control plan, phases 1 and 2, and details.
 3. Site dimension plan.
 4. Grading and drainage plan.
 5. Utility plan.
 6. Construction details.
 7. Landscape plan and details.

SECTION 3. AMENDMENT. Section 113-252 of the City Code of Falcon Heights, Minnesota, is hereby amended to read as follows (Deletions are shown with a strikethrough. Additions are underlined):

Sec. 113-252 – Drive-through facilities

Drive-through facilities are prohibited except when specifically allowed by a conditional use permit in a zoning district, or PUD. When allowed, all drive-through facilities must comply with the following requirements:

- (1) The drive-through facility, service window and speakers must be located at least 100 feet from a residential zoned or used property and must be visually screened from adjoining residential property.
- (2) The entrance and exit drive lanes to the drive-through facility must be at least 75 feet from a street intersection.
- (3) The lot on which the drive-through facility is located must be at least 35,000 square feet in area.
- (4) The minimum on-site stacking distance available for the drive-through must be 180 feet in length.

- (5) Drive-through facilities may only be operated between the hours of ~~7:00 a.m.~~ 6:00 a.m. and 8:00 p.m.
- (6) No speaker noise may be audible from adjacent residential property.
- (7) A traffic study must be completed documenting that the drive-through facility will not create traffic problems.

SECTION 4. EFFECTIVE DATE. This ordinance shall be effective upon its passage and a summary published in the official newspaper.

ADOPTED this ___ day of _____, 2023, by the City Council of the City of Falcon Heights, Minnesota.

Moved By:

Approved by: _____
 Randall C. Gustafson
 Mayor

GUSTAFSON ___ In Favor
 LEEHY
 MEYER ___ Against
 WEHYEE
 WASSENBERG

Attested by: _____
 Jack Linehan
 City Administrator

